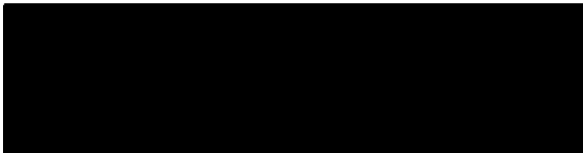




Senate Committee on Ways and Means:
State Capitol, Rm. 208
Honolulu, HI 96813

Delivery Acknowledgement

By affixing my signature to this document, I acknowledge receipt of the Grant in Aid application submitted by Friends of Kona Pacific Public Charter School to the Senate Committee on Ways and Means.



Signature

Tina Deutschman.

Print Name

1/19/18

Date

Leg Aide

Title

12 noon

Time

House District(s) 5
Senate District(s) 3

THE TWENTY-NINTH LEGISLATURE
APPLICATION FOR GRANTS
CHAPTER 42F, HAWAII REVISED STATUTES

Log No:

For Legislature's Use Only

Type of Grant Request:

GRANT REQUEST - OPERATING

GRANT REQUEST - CAPITAL

"Grant" means an award of state funds by the legislature, by an appropriation to a specified recipient, to support the activities of the recipient and permit the community to benefit from those activities.

"Recipient" means any organization or person receiving a grant.

STATE DEPARTMENT OR AGENCY RELATED TO THIS REQUEST (LEAVE BLANK IF UNKNOWN): _____

STATE PROGRAM I.D. NO. (LEAVE BLANK IF UNKNOWN): _____

1. APPLICANT INFORMATION:

Legal Name of Requesting Organization or Individual:
Friends of Kona Pacific Public Charter School

Dba:

Street Address:

79-7595 D Mamalahoa Hwy, Kealahou, HI 96750-7909
Mailing Address:
PO Box 115, Kealahou, HI 96750-0115

2. CONTACT PERSON FOR MATTERS INVOLVING THIS APPLICATION:

Name Gretchen Currie Ramirez

Title Authorized Representative

Phone # 808-328-8721

Fax # 808-328-8721

E-mail gretchenc@kppcs.org

3. TYPE OF BUSINESS ENTITY:

- NON PROFIT CORPORATION INCORPORATED IN HAWAII
- FOR PROFIT CORPORATION INCORPORATED IN HAWAII
- LIMITED LIABILITY COMPANY
- SOLE PROPRIETORSHIP/INDIVIDUAL
- OTHER

6. DESCRIPTIVE TITLE OF APPLICANT'S REQUEST:

KANAUEUE COMMUNITY LEARNING CENTER
CAPITAL IMPROVEMENTS

4. FEDERAL TAX ID #: [REDACTED]

5. STATE TAX ID #: [REDACTED]

7. AMOUNT OF STATE FUNDS REQUESTED:

FISCAL YEAR 2019: \$ \$745,000

8. STATUS OF SERVICE DESCRIBED IN THIS REQUEST:

- NEW SERVICE (PRESENTLY DOES NOT EXIST)
- EXISTING SERVICE (PRESENTLY IN OPERATION)

SPECIFY THE AMOUNT BY SOURCES OF FUNDS AVAILABLE
AT THE TIME OF THIS REQUEST:

STATE \$ 1,073,859

FEDERAL \$ _____

COUNTY \$ _____

PRIVATE/OTHER \$ _____

TYPE NAME & TITLE OF AUTHORIZED REPRESENTATIVE:

[REDACTED]

Gretchen Currie Ramirez, AUTHORIZED REPRESENTATIVE

1-16-18

AUTHORIZED SIGNATURE

NAME & TITLE

DATE SIGNED



APPLICATION FOR GRANT IN AID 2018

I. Background and Summary

I.1. Applicant Background

On behalf of the West Hawai'i community, Friends of Kona Pacific Public Charter School respectfully requests a \$745,000 capital grant from the State of Hawai'i for our Kanaeue Community Learning Center capital improvement project. This crucial phase of development includes two elements: 1) the completion of the West Hawai'i Community Kitchen and 2) "Building G," a nutrition, education and childcare center. The West Hawai'i Community Kitchen will house our community food service, which provides essential nutritional support to hundreds of at-risk children and elders, and will also have a separate facility for use by local farmers for value-added processing of their crops. Building G will perform many vital community functions, including a service area for nutrition programs, after-school childcare, and educational space.

This application is submitted by Friends of Kona Pacific Public Charter School (Friends), a 501c3 nonprofit corporation. Friends was founded in 2006 to develop sustainable natural resource management systems and community-based food production and educational opportunities on the Kanaeue Community Learning Center, 38 acres of rich agricultural land just above the Kona Community Hospital in Kealahou on Hawai'i Island.

Located on the Kanaeue Community Learning Center, Kona Pacific Public Charter School (Kona Pacific) offers a comprehensive Waldorf education with a focus on Hawaiian cultural and agricultural education. The relationship between Friends and KPPCS is defined in an attorney general-approved Memorandum of Agreement that describes the areas of collaboration between the two organizations for the purposes of providing benefits to our community. Since opening in Fall 2008, Kona Pacific and Friends of Kona Pacific have successfully:

- Developed a thriving school and community center serving 230 students and their families, as well as many area residents;
- Became the only public Waldorf school in Hawai'i;
- Became one of the first Title I Waldorf schools in the United States;
- Founded the W.H.O.L.E. Food Service, West Hawaii's only federally approved food service vendor, providing breakfast and lunch to Kona Pacific students, 68% of whom qualify for free or reduced priced lunch.

- Developed a community food service that feeds an additional 500+ other at-risk West Hawai'i residents from age 9 months to 90 years, in partnership with Head Start, Early Head Start, Meals on Wheels, Hawai'i County Parks and Recreation, and Punana Leo o Kona preschool;
- Become a model for the state's Fresh Fruits and Vegetable program, serving a locally grown, organic fresh fruit or vegetable each morning to all students;
- Become the first school in Hawai'i to provide universal breakfast in the classroom;
- Implemented a highly successful AmeriCorps program, with sixteen AmeriCorps volunteers providing labor for farm development while receiving valuable training;
- Partnered with the Natural Resources Conservation Service (NRCS) in the development of the first commercial "food forest park" in West Hawai'i;
- Launched Hawaii's first-ever mobile Summer Food Service Program, which has served more than 22,500 lunches to impoverished, hungry children in the program's three years of operation;
- Strengthened charter schools locally and nationally through service on the Hawai'i Public Charter Schools Network board, Hawai'i State Charter School Commission, and Alliance for Public Waldorf Education.
- Received a \$1.2 million GIA in the 2015 legislative session, for the construction of West Hawaii's first community kitchen; and
- Been awarded \$41,785 in USDA grant funds for developing a Farm to School action plan that incorporates our on-site farm, WHOLE Foodservice, regional food system segments, and student educational activities.

By the end of this proposed 12-month project, we will achieve a number of important community benefits. We will begin operating West Hawaii's first nonprofit community kitchen, which will be the first project nationally to combine school food production with value-added processing in one shared facility. The economy of combining these two activities in one facility is compelling, and we are optimistic that the synergy between these two vital community activities will produce benefits beyond what we can now imagine. Building G, will add a 2,040 sq. ft. multiuse facility for feeding, providing after-school care and offering a top quality learning environment for the children of West Hawai'i.

About Friends. Friends' operations are based on our 38-acre property, the Kanaeue Community Learning Center, located near the town of Kealahou, district of South Kona, on Hawai'i Island. The 38-acre site hosts the school campus, a production farm, and several other educational and social service initiatives.

Securing a permanent campus for Kona Pacific was the initial focus of Friends, and over the past 15 years we have successfully purchased our 38-acre property and expanded the campus, tripling the classroom space in response to enrollment demand. Projects currently in development include increasing the production of the 13-acre farm, restoring a 5-acre section of the ancient Kona Field System for cultivation of traditional Hawaiian foods, and planting a demonstration "food forest" of native and food-producing trees, with trails and interpretive signage.

Friends' strategic plan leverages the Kanaeue Community Learning Center property to develop community-based educational initiatives that provide numerous educational benefits to the children of Kona Pacific and other area schools, and a diverse range of economic and social benefits to our rural, underserved community.

Currently, community events are regularly hosted on site, including educational presentations, concerts and other performing arts, community gardening parties, and children's recreation programs. The learning center regularly hosts groups of visiting students from throughout Hawai'i and the world, providing valuable and dynamic service-learning opportunities.

The property is also used daily by the employees of Kona Community Hospital and the Kona Courthouse, which are located immediately makai (downhill) from the project site. These neighbor staff members utilize the existing rock roads and trails on the property for health benefits and quiet time during their work breaks. Our Kona community is significantly underserved in terms of public parks and natural resource use areas. The Kanaeue Community Learning Center provides open space and recreational benefits for our community at no cost to the state or county.

Friends has a lengthy track record of demonstrating the ability to identify, assess, and respond to community needs by leveraging our resources on behalf of the community we serve. This proposal for the Kanaeue Community Learning Center capital improvement project is an essential component of our greater vision of service to our rural, under-served community.

It is important to note that Friends has already secured the most costly part of any facilities development project, the real property on which the capital improvements will be built. The requested GIA funds will leverage that success, capitalizing on the momentum already accomplished.

About Kona Pacific Public Charter School. Kona Pacific Public Charter School was established by an act of the State of Hawai'i Charter School Review Panel in July 2008 and opened its doors to students that Fall. Kona Pacific serves a student body that is representative of the diversity of North and South Kona.

In economically depressed South Kona, there is a particular need for *public* education opportunities. As of the 2010 U.S. Census, the percentage of school-age children living in South Kona in households that were considered not to be self-sufficient was 44%. These families are unable to explore private schooling options. In this context, the need for non-traditional public school options in South Kona is apparent. Kona Pacific is well suited to meet this need for a non-traditional school that can serve residents with a diverse range of socio-economic backgrounds.

Kona Pacific offers a developmentally appropriate education that integrates Hawaiian cultural and agricultural studies into a Waldorf academic curriculum. The school's socially inclusive learning environment enables students to achieve high standards, while nurturing a strong

sense of compassion and community responsibility – inspiring the students not only to successfully meet the future, but also to help shape it.

Each year, Kona Pacific provides educational services to 230 students, as well as important supplemental social services to at least 100 school families.

As a pioneer in the field of school and community nutrition, Kona Pacific was the first public school in Hawai'i to offer universal breakfast in the classroom. Universal breakfast in the classroom, where all children eat a nutritious breakfast for free in their classroom at the start of the school day, is an important development in public education that is quickly gaining momentum in many communities across the country. It has been shown to support academic achievement, improve children's health and well-being, help struggling families and those who must commute a long distance to school save time and money, and eliminates the stigma of school meals being served "only to poor children."

Kona Pacific launched a ground-breaking mobile summer lunch program in response to a community crisis when in early 2015, the Hawai'i Department of Education announced that they would no longer provide school-based summer lunch service in West Hawai'i. We responded to this urgent need by creating Hawai'i's first-ever mobile summer lunch program. Our target population for this program consists of homeless and low-income children below the age of eighteen in West Hawai'i. The latest census data provides an estimate of 145 homeless and 3,900 low-income individuals in this age range. Referencing this and other demographic data on poverty and homelessness, we project that there are approximately 4,000 individuals in the targeted population.

The children in this target population face a particular challenge in the summer months. During the school year, they eat for free or reduced price at school, which goes a long way towards meeting their daily nutritional requirements. In the summer, schools are closed, but these children's hunger doesn't take a summer break. The summer lunch project closes this gap, providing continuous nutritional support throughout the year to as many homeless and low-income children in our community as we can.

We launched the program in summer 2015 at seven service sites throughout West Hawai'i, serving an average of 120 lunches a day, for a total of 4,300 lunches. Community program partners included the management of La'ilani, Lokahi Ka'u and Ulu Wini affordable apartments in Kailua-Kona, Family Support Services West Hawai'i, the youth program managers of Keauhou and Keoua Honaunau canoe clubs, and the Happy Feet Soccer program.

In the summer of 2016, with the crucial assistance of new program partner Hawai'i Island Youth Corps, which mobilized youth volunteers to assist with distribution of lunches at the service sites, we were able to expand from seven to ten service sites and incorporate an effective outreach strategy for providing lunches to homeless children. We more than doubled the number of lunches served to 10,235, an average of 270 lunches a day.

In 2017 we made program improvements including increased efficiency of volunteer coordination, better menus, and kitchen productivity improvement. The geographic range of the program was expanded with support funding for the program's delivery operations. We have now served more than 22,500 lunches to hungry children in the program's three years.

Kona Pacific has received many awards for our nutrition programs, including two prestigious awards for the summer lunch program and its significant community benefits: in 2015, the USDA Western Region Summer Sunshine Award, and in 2017, the Good Apple Award from the Hawai'i Appleseed Center for Law & Economic Justice.

Kona Pacific has been recognized by the Hawai'i Community Foundation annually for the past five years as a "high performing" organization, in acknowledgement of our dynamic programs and partnerships that provide vital support for the some of the most vulnerable members of our community.

About Kanaeue Community Learning Center Capital Improvements. In 2011, Friends was awarded \$3 million in USDA Rural Development funding to purchase the 38-acre Kanaeue Community Learning Center property. In keeping with its mission to develop sustainable natural resource management systems and community-based food production and educational opportunities on the site, a strategic approach was developed in order to fulfill several mission-related objectives:

1. Continued development of safe, attractive K-8 school facilities for Kona Pacific, in order to meet the education needs of the families of West Hawai'i;
2. Development of a production farm, in order to provide fresh local produce to the WHOLE Foodservice and to create career-oriented agricultural learning opportunities for adults;
3. Development of the West Hawai'i Community Kitchen, to house the WHOLE Foodservice and a separate value-added production facility for local farmers that provides local access to a high quality and affordable value-added processing facility with state of the art equipment.
4. At the West Hawai'i Community Kitchen, develop an array of intensive trainings and classes for local farmers.
5. Development of a long-range master plan for an agricultural resource center to strengthen the local economy and increase food self-sufficiency in West Hawai'i.

This proposal addresses four of these five strategic goals. At present, significant progress has been made on all five fronts, with the assistance of community partners and local, state and federal funding.

West Hawai'i Community Kitchen Progress

In 2015, Friends was awarded a \$1.2 million Grant-In-Aid for the construction of the West Hawai'i Community Kitchen. The planning, design and construction costs were all calculated using 2014 construction cost estimates, and at those rates, the \$1.2 million was sufficient to complete the project. However, there were a number of delays in the disbursement of the GIA funds, and further delays in completing project engineering, due to the construction boom in

West Hawai'i. By the time the funds were finally available and the engineering completed so that the project could go out to bid, the project costs had increased by 44%, reflecting the overall rise in construction costs in Hawai'i from 2014 to 2017, and the extraordinary increase in infrastructure development costs during that period.

The substantial project delays were out of the control of the Friends project team. The initial delay was due to the fact that the financial staff at the state agency assigned to disburse our funds, the Hawai'i Public Charter School Commission, were unfamiliar with the GIA process and were challenged to learn the proper procedures and carry out their responsibilities in a timely way. In addition, during this time period there was significant turnover of staff at the Commission, including the finance staff responsible for GIA disbursement. The GIA was awarded in May 2015 and the first disbursement of GIA funds was not until August 2016, eighteen months later. It was not until that point that the design, architectural and engineering phases of the project could begin.

Amplifying the problem was a concurrent acceleration of the construction boom on Hawai'i Island, leading to additional delays. For example, the few civil engineers on Hawai'i Island all had very large backlogs of work, leading to months-long delays. Similar delays were incurred in the other engineering disciplines. As well, county public works, planning, building, and fire department offices were overwhelmed with projects to review, leading to unprecedented delays for preliminary project reviews. In September of 2017, the West Hawai'i Community Kitchen project finally went to bid, a full 30 months from the time of the 2015 GIA award.

By that time, there had been significant construction cost increases from 2014 prices, especially in the area of infrastructure development. The cost of water supply, high voltage electricity, even road construction and paving had increased even faster than other parts of the construction process. As this project includes considerable infrastructure development, pricing increased substantially. The following table illustrates the cost differentials of the West Hawai'i Community Kitchen project components.

Project Component	Project Manager Estimate	Cost Differential	Final Cost	Status
Design & Planning	\$61,000	Project Manager estimates	\$61,000	on budget
Building Construction and Infrastructure Costs	\$869,000	Hawai'i and national construction cost indices, recent Friends construction projects, architect estimates, West Hawai'i construction cost analysis	\$1,310,000	\$441,000
Equipment	\$270,000	Project Manager estimates	\$270,000	on budget

Despite the delays, significant progress has been made on this exciting project. We now have a professionally designed kitchen, full sets of engineered drawings, and a well-defined list of kitchen equipment tailored for the specific needs of both the foodservice kitchen and the value-added processing kitchen. The construction bidding process is complete, a contractor has been selected and we are working with them to develop the construction process and schedule. With momentum gained, we are ready to begin construction in May.

Building G Progress

Building G is a “shovel-ready” project, and permits for its construction have been obtained. The new building will replace a current deteriorating tent structure with a modest, but clean and safe building for multiuse and educational purposes.

Multiuse Building G will be used for education, childcare and serving meals to Kona Pacific students. The community kitchen does not include any facilities for serving food to the students, because it has been sited in a location that is too great a distance from the school but is accessible to the community for value-added processing and community use.

Since its founding in 2008, the Kona Pacific administration, staff and faculty have shown remarkable dedication, foresight and creativity in making progress towards providing the necessary facilities. Because of the lack of state funding for public charter school facilities, Kona Pacific has had to secure funding from federal, foundation and local donors, utilize funds from its operations budget, and improvise temporary facilities. Over the years, the school has constructed tent classrooms, turned jungle clearings into outdoor learning centers, and shown the children how to use the forest as a playground. The facilities for the children have always been given top priority, and consequently our administration and office staff still share an office of only 196 square feet.

The need for this Building G is urgent. Due to the deteriorating condition of the temporary tent structure, it should not continue to be used for food service, education and childcare.

I.2. Goals and Objectives Related to the Request

The Kanaeue Community Learning Center capital improvement project is a very integral component of a larger framework of leveraging our existing resources in order to provide the highest level of service possible to our community.

The project objective, expressed in S.M.A.R.T. (Specific, Measurable, Achievable, Realistic and Time-bound) terminology, is:

Objective: By the end of the 12-month project period, the Kanaeue Community Learning Center capital improvements project will be completed, including a 2,820 sq. ft. community kitchen and a 2,040 sq. ft. nutrition, day care, and classroom building.

I.3. Public Purpose and Need to be Served

The public purposes that will be served by this project fall into two categories: 1) Social Service needs and 2) Educational purposes.

Social Services. We strive towards a greater vision of service, reaching beyond the core educational mission to meet essential needs of our rural, underserved community. The most critical social service program provided to our community is our food service. Currently operating out of a small leased church kitchen, the W.H.O.L.E. (West Hawai'i Ono Local Eats) Food Service provides meals for 500+ vulnerable community members at risk for hunger and food insecurity.

The W.H.O.L.E. Food Service program launched in Fall 2012, when the previous nutrition program vendor ceased operations with just 30 days notice. They were the only federally approved food service vendor for nutrition programs in West Hawai'i, and their closure endangered the health and well-being of hundreds of impoverished citizens, mostly young children and elders. We immediately responded to this emergency need by starting a new food service in time to ensure that none of these at-risk residents went hungry.

The need for the food service itself is well documented. Food insecurity in our small rural community has become a public health crisis, and strong proactive approaches are required to ensure that the most vulnerable members of our community, particularly children and the elderly, do not continue to go hungry.

Throughout all of Hawaii's islands, a shared set of complex conditions, including high rates of poverty and homelessness, and low rates of educational success, have contributed to the development of a serious public health crisis. A 2012 study by the North Hawai'i Outcomes Project, "Community Health Profile Hawai'i County," highlights many of the realities of Hawai'i Island's diet and hunger related indices.

Hawai'i Island has higher death rates than other islands in the state across all categories, including heart disease and stroke. The rates of adult and child poverty are much higher than the state average, and the per capita income is lower than average. Currently, Hawai'i Island, a very rural island with a population density of only 45 persons per square mile, has a shocking poverty rate of almost 20% – nearly one in five of our residents living below the poverty level.

The ongoing economic struggles of families in Hawai'i are well known, and these challenges have led to a 39% increase in the need for emergency food assistance since 2006. The Hawai'i Food Bank estimates that statewide, 15% of our population receives emergency food assistance through their agency. While faith-based and other organizations have stepped up to help with the enormous task of feeding the homeless, the working poor and elderly continue to be under-served.

The W.H.O.L.E. Food Service is an essential social service that we are able to operate with efficiencies of cost and manpower while achieving quality outcomes. In the absence of this program, the burden of ensuring that our children and elders do not go hungry would fall

largely on the network of state-operated social and human service agencies. Our project represents a cost-effective, local and sustainable approach to providing these services.

The W.H.O.L.E. Food Service feeds Kona Pacific students daily, 68% of them for free or reduced price. Many of these children consume a significant portion of their daily nutrition at school; we provide them a healthy morning snack, lunch, and after school snack.

In partnership with community social service organizations, the food service feeds an additional 500+ other at-risk West Hawai'i residents, from nine months to 90 years old. Our menus provide optimally healthy meals, made with fresh, locally-grown ingredients wherever possible, all scratch cooking, and no added refined flours or sugars.

Our partner organizations purchase complete meals, which are subsidized by state and federal programs such as the National School Lunch Program. The price for a school lunch with milk, delivered to the client's site, is \$5.25. The price represents the actual cost of the meal; we operate the program to meet urgent community need and aim for break-even while doing so.

For the school lunch example above, partner organizations are reimbursed \$3.78. The partner organization subsidizes the difference between what they receive for reimbursement and the price of the meal, and that subsidy can be challenging for some schools and community service agencies. Recognizing this challenge to our partner organizations, we actively control costs to keep prices as low as possible, while offering very high quality, nutritious meals. The closer that our price approaches the reimbursement rate offered, the more meals our partner organizations can purchase and provide to citizens in need.

The requested Grant in Aid funding for completion of the kitchen construction will directly and immediately remediate the high cost of facilities, allowing us to lower prices, and feed additional at-risk citizens.

Our W.H.O.L.E. Food Service program is the only approved vendor of federally subsidized meals in West Hawai'i. Having launched a successful program, we are uniquely positioned and eager to increase services and feed more citizens at risk for food insecurity. Expansion will be facilitated by reducing the price charged to our partner organizations. We have identified two areas with the potential for significant cost savings: 1) lowering the facilities cost for food production, and 2) creating an integrated regional supply chain that will reduce food costs for the high-quality ingredients used in our menus.

The community kitchen will lower facilities cost. In service of the second objective, we are leveraging the tremendous agricultural resource of our 38-acre property, developing a comprehensive farm to community food service initiative to radically increase production on the 13-acre farming area. The farm will provide a large proportion of the ingredients used each day by the food service, at a substantially lower cost than market price, and the savings will enable a reduction in meal pricing. Fresh farm products will also be sold directly to low-income residents.

Currently, we are operating a highly successful AmeriCorps program on the learning center property, with sixteen AmeriCorps volunteers providing labor for farm development while receiving valuable education and training in the skills necessary to develop a viable organic production farm. The Natural Resources Conservation Service (NRCS) is also partnering with us in the development of the first commercial “food forest park” in West Hawai‘i.

The value-added production facility will allow local family farms to increase the value of their agricultural production, strengthening and supporting the regional agricultural economy, and will contribute to the success of the food service as well.

Several USDA studies emphasize the importance of nonprofit community kitchens in supporting local agriculture, family farms and small businesses. On Hawai‘i Island, there are only three of these kitchens: one in Hilo, and two in Hamakua, all on the East Side of the island, nearly three hours’ drive time from Kona.

As mentioned above, the community kitchen does not include any facilities for serving food. Multiuse Building G will be used for serving meals and nutrition education, a social service public benefit.

Educational purposes. The public benefit of charter schools, particularly in regards to educational innovation, is well recognized on a national level. Former U.S. Education Secretary Arne Duncan stated that, “charter schools are laboratories of innovation in education, quality, accountability, cost efficiency and transparency.” The administration urges charter schools to scale their successful innovations throughout the education system in order to facilitate overall improvement in the country’s academic environment.

Of Hawaii’s 36 charter schools, 15 are located on Hawai‘i Island, providing important school choice for families while acting as incubators for innovation and best practices in education. Kona Pacific embraces the philosophy of a rising tide lifting all boats, and is firmly committed to improving the overall educational landscape of our island communities. With this desired result in mind, we actively develop and disseminate best practices on an ongoing basis. The school administration collaborates closely with and provides assistance to other Hawai‘i public charter schools, and has developed both a state and national reputation as a source of innovative strategies for successful operation. One such current project is the Hawai‘i Island Charter School Foodservice Hui, which is developing a shared central system for charter school foodservice administration and procurement.

The school’s sustainable agriculture educational program will benefit greatly from the presence of the new community kitchen, and the school’s gardening program itself has multiple benefits for the local economy, as identified in the Rocky Mountain Institute’s 2007 “Island of Hawai‘i Whole System Project Phase I Report”:

- Hawai‘i school gardens make fresh local food fun, building life-long customers for food like taro and fresh greens. This is similar to the way McDonald’s builds life-long customers by making their meals fun for children with toys and play parks;

- School gardens expose children to foods, such as salads, and ways of preparing foods that they may not be exposed to at home;
- School gardens teach children to appreciate the complexity of the food chain and to consider where their food originates, beyond the supermarket;
- School gardens give children a taste of the profession of farming, teaching the next generation of farmers sustainable methods.

The incorporation of the kitchen facilities into the school's farming and gardening curriculum will leverage these existing benefits to include developing food preparation skills and a deeper appreciation for all the layers of our local farm-to-table food chain.

Friends and Kona Pacific are the only educational organizations in the State of Hawai'i that operate a community food service, and garnered a "New Best Practices" award for the program. As the anchor client for Friends' kitchen facilities and purchaser of value-added products, the food service will provide an essential economic engine powering the sustainability of facility operations.

Building G directly addresses the public purpose of education. A growing body of research has found that school facilities can have a profound impact on both teacher and student outcomes. With respect to teachers, school facilities affect teacher recruitment, retention, commitment, and effort. With respect to students, school facilities affect health, behavior, engagement, learning, and growth in achievement. Thus, researchers generally conclude that without adequate facilities and resources, it is extremely difficult to serve large numbers of children with complex needs. Improving the quality of school facilities is not an inexpensive undertaking. However, when the positive impacts of facility improvement on teachers and students are translated into dollar figures, the rewards of such public purpose investments far outstrip the cost of the investments.

The goal of the General Plan of Hawai'i County is to "encourage the provision of public facilities that effectively service community and visitor needs and seek ways of improving public service through better and functional facilities in keeping with the environment and aesthetic concerns of the community." This proposal directly addresses this goal.

1.4. Target Population to be Served

The community to be served by this project includes the districts of North and South Kona, and the southern parts of Ka'u. The area's population, according to the 2010 U.S. Census, is 52,635, with a diverse ethnic and racial mix, of which White (44%), Asian (20%) and Native Hawaiian (18%) are the dominant representatives.

West Hawai'i, and South Kona in particular, are rapidly growing. Between 2000 and 2010, South Kona experienced the highest rate of growth (19%) of all districts in Hawai'i County. This growth brings with it an increased need for educational resources. Demographic data from the Hawai'i Department of Education shows that within Kona Pacific's service area, K-5 student population growth is projected to be slightly greater than 4% annually. This growth, resulting in

a student population increase of 50 elementary students per year in our service area, represents a burgeoning need for safe, adequate school facilities.

The community demographics regarding food insecurity, as described above, indicate that up to 32% of our community members, or more than 11,700 individuals, suffer from food insecurity, and approximately 40% of these – mostly children and elders – are potential beneficiaries of our food service program.

The value-added processing facility in the community kitchen will serve an additional 700+ family farmers in our rural community. It can be very challenging for a family to make a living from commodity crops. Most farmers sell their produce in the wholesale market, which limits the farmer's share of income, or at local farmers' markets, which can bring more income but have another set of limitations.

For many small farmers, the ability to control their product all the way from seed to final processed product makes the difference between financial viability or failure.

This can be seen on Hawai'i Island in the Kona coffee industry, where an ever-increasing number of small farmers take their coffee beans all the way to a roasted, packaged and labeled product. They may conduct all the stages of processing themselves, or they may have one or two stages (e.g., green milling) custom-processed on their behalf. This level of control enables the farmer to maximize their profit, and in this example it has created a vibrant industry of more than 300 estate coffees, each of them beautifully labeled and expressive of that coffee farmer's commitment to producing the finest quality of coffee possible.

In much the same way, value-added processing capabilities tailored to the needs of local farmers strongly support the local agricultural economy. They have been shown to boost local job creation, diversify the local economy, and transfer ideas and technology from universities or larger companies. The West Hawai'i Community Kitchen will be the first non-profit community kitchen in West Hawai'i.

1.5. Geographic Coverage

Friends and Kona Pacific serve a geographic area that stretches roughly 50 miles along the western side of Hawai'i Island, from Kailua-Kona in the north to Ocean View in the south, and includes the towns of Keauhou, Honalo, Kainaliu, Kealahou, Captain Cook, and Honaunau – approximately a 100-mile radius.

Beyond the families and individuals served by Kona Pacific's educational and social service programs and the WHOLE Food Service, a significant part of Friends' mission is to develop and disseminate best practices and share how-to methodologies with collegial groups of educators and program leaders wanting to implement new strategies. Kona Pacific is actively involved in the Hawai'i Public Charter Schools Network and the Alliance for Public Waldorf Education, both of which provide dynamic platforms for the sharing of resources, strategies

and best practices, thus extending the geographic coverage of our project and its outcomes throughout Hawai'i and the U.S.A.

II. Service Summary and Outcomes

II.1. Scope of Work, Tasks and Responsibilities

In order to accomplish the project goal of constructing the food service kitchen and Building G, Friends will engage a project team with proven qualifications and expertise to complete all project activities. These individuals are described in detail in Section V. The core team of Project Manager, Project Architect, and Site Manager will oversee the general contractor selected via open bidding to carry out the construction activities.

The project scope of work includes four distinct stages, each of which entails a number of activities:

- 1) Design, Permits and Bids (These activities have been completed)
- 2) Site Preparation
- 3) Infrastructure construction
- 4) Building construction

Details of these project elements may be found in the tables on the next page.

Component	Purpose	Approx. Size	Cost per 2017 Bid
West Hawai'i Community Kitchen and related infrastructure	Food service breakfast, lunch and snack production; processing of produce from school farm; value-added processing of agricultural production by local farmers.	2,820 sq. ft. kitchen	\$1,310,000 <i>(\$869,000 funded by 2015 GIA)</i>
Kitchen Equipment	Community foodservice and value-added processing for local farmers	n/a	\$270,000 <i>(\$270,000 funded by 2015 GIA)</i>
Building G	Nutrition program, education and after-school daycare activities	2,040 sq. ft.	\$304,000

The project work plan is described in detail in the following tables, one for each phase of the overall scope of work. Per the bid documents, the total job duration of the kitchen is 196 calendar days, and 90 calendar days for Building G. The two buildings will be constructed simultaneously.

The scope of work details are included in the attached exhibits.

Design, Permits and Bids

Activities	Lead Position(s) Responsible	Begin	End
Master Plan & Schematic Design	Project Manager		Complete
Architectural Plans	Architect		Complete
Building Permit Building G	Project Manager		Complete
Bids Out	Project Manager		Complete
Bid Review and Selection	Project Manager/Architect		Complete
Contract Finalization/Execution	Project Manager		Complete
Building Permit Kitchen	Project Manager	1-20-18	4-1-18

Site Preparation

Activities	Lead Position Responsible	Begin	End
Grading	Site Manager, Contractor	6-1-18	6-20-18
Surface Water Mitigation	Site Manager, Contractor	6-1-18	7-31-18

Infrastructure construction

Activities	Lead Position(s) Responsible	Begin	End
Potable Water Supply	Site Manager, Contractor	7-1-18	8-1-18
Electric	Site Manager, Contractor	7-1-18	9-30-18
Septic	Site Manager, Contractor	8-1-18	9-1-18
Propane Tank & Supply Line	Site Manager, Contractor	9-15-18	9-30-18

Road, Parking Lot	Site Manager, Contractor	6-1-18	9-15-18
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Building Construction

Activities	Lead Position(s) Responsible	Begin	End
Bldg G Construction -> Finish Work	Project Manager, Contractor	6-20-18	9-1-18
Kitchen Construction -> Finish Work	Project Manager, Contractor	6-20-18	12-15-18

II.2. Projected Annual Timeline

As detailed in the tables and bid information above, the project site preparation and construction activities are scheduled to commence on June 1, 2018 and be completed by December 15, 2018.

II.3. Quality Assurance and Evaluation Plans

Friends has a set of comprehensive policies in place to ensure that all compliance, reporting, monitoring, and evaluation activities are carried out for grant projects. These policies have been in continuous use for almost a decade, supporting our excellent track record of successful projects.

The Friends board will oversee all stages of the project and ensure that the project moves forward on schedule and in compliance with all codes and grant requirements. The Project Manager and Architect have reviewed all bid proposals and made a recommendation to the board according to Friends' construction management policy. The Project Manager will make weekly progress reports to the board during construction and ensure that any unanticipated project challenges are resolved optimally.

The Project Manager and Site Manager will work together with the Architect to 1) review the progress of construction; 2) review the quality of construction; 3) process clarification requests and product submittals; 4) approve contractor payment requests; 5) provide ongoing and final inspections of all construction.

II.4. Measures of Effectiveness

The primary performance indicators used for measuring the success of this project will be the standard construction evaluation tools involving analyses of timeline compliance, cost predictability, and construction quality.

Adherence to the stated project timeline and estimated costs will be evaluated quarterly, with adjustment in project activities made as necessary. Quality control will also be an ongoing measure; the Project Manager, Site Manager, and Architect will inspect contractor progress closely to ascertain that quality of materials and construction are maintained throughout the life of the project.

III. Financial

III.1. Budget

Friends has submitted a budget utilizing the GIA budget forms, which are included with this application.

III.2. Anticipated Quarterly Funding Requests

In the first two quarters of the project, Friends will be utilizing the funds awarded in the 2015 Grant-In-Aid. The funds from this 2018 GIA request will be used in the third and fourth quarters of the project.

Quarter 1	Quarter 2	Quarter 3	Quarter 4	Total Grant
\$0.00	\$0.00	\$345,000	\$400,000	\$745,000

III.3. Fiscal Year 2019 Funding Sources

Ongoing revenue sources include lease rent from the school campus and five houses (reserved for school and farm staff) that are located on the property, as well as development activities.

Friends has a successful history of fund development, originally for school startup operations, subsequently for capital projects. Long-term relationships with repeat funders provides a stable inflow of financial resources to support our facilities-building program.

The additional funding sources that will be approached include:

- The Harry and Jeanette Weinberg Foundation
- Atherton Family Foundation
- Cooke Foundation
- Bank of Hawai'i Foundation
- Central Pacific Bank Foundation
- McInerney Foundation
- Harold K.L. Castle Foundation
- Hawaiian Electric Industries Charitable Foundation
- Omidyar Foundation
- USDA
- Individual Funders referred by the Hawai'i Community Foundation

III.4. State and Federal Tax Credits

Not applicable.

III.5. Balance of Unrestricted Current Assets

As of January 17, 2018, the balance of unrestricted current cash assets was \$53,689.14.

IV. Experience and Capabilities

IV.1.Necessary Skills and Expertise

Friends has an extensive and reliable base of experience and relevant skills in the management of state and federal funds and major capital projects, and will retain experienced, expert consultants for specific stages of the project.

Organizational Capacities. Friends is governed by a six-member Board of Directors who are representative of the community to be served by this project and bring a wide range of relevant skills and experience in project development and management. The board includes professional educators with facilities development experience, financial advisors and managers, Native Hawaiian cultural practitioners, and legal and agriculture experts. The Friends board manages an annual operational budget averaging roughly \$330,000, which is substantially augmented in some years by multi-million dollar grants as well as contributions for specific projects.

Friends has a high level of fiduciary capacity, with comprehensive financial policies and procedures that reflect best practices for nonprofit organizations, a strong background in the management of government funds, and a demonstrated capacity of effectively meeting the critical needs of our underserved community through the implementation of innovative and focused social service and community support programs.

Friends and Kona Pacific are the only educational organizations in the State of Hawai'i that operate a community food program, and have been recognized by the county, state and federal governments for valuable contributions to improving food security, including:

- Hawai'i Public Charter Schools Network's "New Best Practices" award, 2014
- Certificate of Special Recognition from the governor's office, 2014
- USDA Western Region Summer Sunshine Award for Program Expansion in Local Communities, 2015
- Good Apple Award, Hawai'i Appleseed Center for Law and Economic Justice, 2017
- Kukui Award, Hawai'i State Lt. Governor's Office, 2017

The impact of these awards and recognitions has been to emphasize the reputation, credibility and effectiveness of Friends and Kona Pacific, and to strengthen our relationship with our community partners and funders.

Notable Projects

In October 2006, the state of Hawai'i awarded Friends \$150,000 for initial research and feasibility studies of the development of Kona Pacific Public Charter School. Friends' proposal was one of three funded out of thirteen applicants statewide. This preliminary work was so successful that Friends was encouraged by the leadership of the state Department of Education to apply directly to the federal government for further funding. The project audit

confirmed that all state funds were expended appropriately, and the audit was closed with no findings.

In October 2007, the USDE awarded Friends \$300,000 for startup research and development of Kona Pacific Public Charter School. Final reports showed that all federal funds were expended in service of the project objectives, with substantial community benefit. A demonstration of the value returned on investment is that the school's charter was scored at 96%, the highest score for a charter submission in Hawai'i to date.

In April 2011, Friends was awarded a \$3M direct loan by the USDA Rural Development Community Facilities program. Friends purchased the previously leased 38-acre parcel on which the 2.5-acre school campus is located, and constructed two new school buildings containing six classrooms, which were completed in late 2012. The OMB A-133 audit confirmed that all federal funds were expended appropriately, and the audit was closed with no findings.

In April 2015, Friends was awarded a \$1.2M Grant-In-Aid for the construction of the West Hawai'i Community Kitchen. As explained in the application, a series of delays, out of the control of the applicant, has resulted in construction cost increases. All planning, design, architectural, and engineering work has been completed.

Friends has also received and successfully managed many smaller grants (\$3,000 – \$50,000) from federal agencies and private foundations.

Financial activities are conducted in accordance with generally accepted accounting principles, using QuickBooks to maintain accurate and secure financial records. Monthly reports are reviewed by the Financial Officer, and quarterly reports are presented to the full board for oversight.

Project Capacities. Friends has selected an experienced project team to carry out and oversee all project activities. Details of the team's capabilities and experience may be found in Section V.

IV.2. Facilities

The purchase of the 38-acre Kanaeue Community Learning Center in 2011, and the subsequent transfer from private ownership to public stewardship, was a significant benefit to the community and a milestone for Friends. The opportunity presented by community ownership of this valuable resource contains within it a challenge – to utilize the resource in a manner that provides the greatest benefit to the community. We are mindful of the *kuleana* (responsibility) to be led by our community in determining the best and highest uses of the land.

The previous owner obtained a Special Use Permit (SUP) in 2001 for construction of school facilities and related improvements on the property. The SUP also affirmed the plan to further

develop agricultural facilities on the property. In 2012, the Hawai'i County Planning Department granted a Special Permit Extension, allowing construction activities through August of 2021.

Existing campus facilities, which Friends leases to Kona Pacific, include a 2.5-acre campus with 6 buildings that house 10 classrooms, 5 bathrooms, and administrative offices, for a total of 9,300 sq. ft. The campus has passed multiple ADA compliance reviews, exceeding federal accessibility requirements. The school site also has more than 10,000 sq. ft of playground space, featuring a nature-based playground and a ball field. Semi-permanent structures house extended-day programs, reading and study areas, a Hawaiian studies hale, a special education classroom, and a school garden.

This proposal is consistent with local land use planning. The Kanaeue Community Learning Center property falls within an area designated as Orchards on the General Plan Land use Pattern Allocation Guide (LUPAG) Map. The zoning for the property is Agricultural-5 acres (A-5a) with a State Land use Designation of Agricultural. "Agricultural products processing, major and minor" is a permitted use in Hawai'i County's Agricultural districts.

V. Personnel: Project Organization and Staffing

V.1. Proposed Staffing, Staff Qualifications, Supervision and Training

Friends has an excellent track record of experience in successful financing and management of construction projects of this scale. We have successfully completed two construction phases of the campus, both of them ahead of schedule and under budget, and the same reliable, experienced team will manage this project.

Ultimate responsibility and accountability for project success rests with the Friends Board of Trustees. The board will delegate day-to-day responsibility to the Project Manager, who will supervise all project staff.

Project Staff

Project Manager. Friends has selected as its project manager Mr. Chris Hecht. Mr. Hecht has successfully led the financing, design, and construction of all campus development to date. He brings experience in construction management and fiscal oversight of high value projects along with an extensive network of experts in all relevant construction disciplines to the project. This ensures productive use of project resources, efficient construction processes, and high quality finished product. The Project Manager provides oversight of all phases and aspects of the project, representing Friends in design meetings, developing the project budget, working with the Architect to review and select competitive construction proposals, overseeing construction, and supervising construction finances.

Contracted Staff

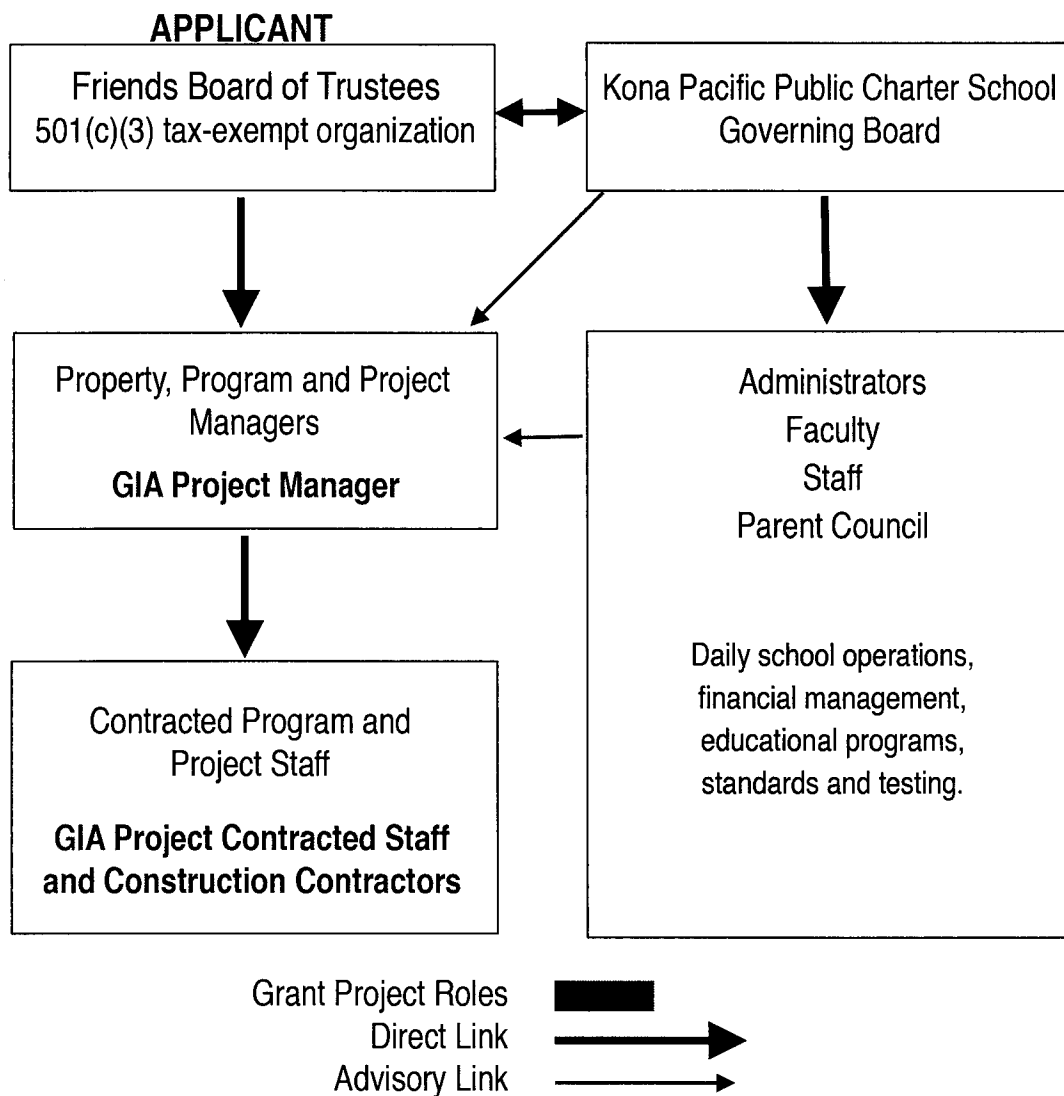
Project Architect. Mr. Rohn Marvick, AIA, is project architect and is responsible for all project design, engineering, and drafting of detailed construction documents. In addition he guided selection of competitive construction proposals, and will oversee construction. He has more than 25 years of architectural design experience and founded the Weigang Marvick & Associates architectural design firm in 2000. The partnership of architect Mr. Marvick and architectural designer Mr. Bill Weigang provides a high level of complete architectural services for projects ranging from up-scale custom residential to mid-size commercial ventures. Mr. Marvick has served as project architect for all previous Friends construction.

Site Manager. Friends' property manager Tom Howard will serve as the owner's day-to-day on-site representative, overseeing the daily activities of all project contractors. Mr. Howard has been responsible for oversight of all Kanaeue Learning Center improvement projects and property maintenance for more than 15 years. His current responsibilities include supervision, oversight and control of all on-site development and maintenance, hiring and supervising contractors, managing procurement and budget, maintenance and monitoring of the water system, farm operations, tree care and grounds keeping, and tractor operation and maintenance. He has served as Site Manager of the two previous construction phases on the property and has detailed knowledge of all site improvements, including the placement of underground utilities and other infrastructure.

Construction Contractors. All procurement, including construction contractors, will comply with applicable state and federal procurement codes. Tinguely Construction has been selected as the general contractor through a competitive bidding process requesting, via public advertising, bids from at least three qualified bidders. Friends' procurement policies include equal opportunity principles. The bid selection process included an analysis of each bidder's demonstrated management competency, financial condition, labor compliance, relevant experience, and safety record. Tinguely Construction is a West Hawai'i-based firm, established in 1995, and is well known for their integrity, reliability and quality of craftsmanship.

V.2. Organization Chart

The chart on the following page illustrates the position of project staff and the lines of responsibility and supervision of project activities.



V.3. Compensation

Friends does not compensate any officers or directors, and is fortunate to have many community members provide expert service pro bono in support of Friends’ initiatives. Friends employs one part-time property manager at a salary of \$1,958/month, and retains short term project-specific staff when needed.

VI. Other

VI.1. Litigation

Not applicable.

V.2. Licensure or Accreditation

Kona Pacific was duly chartered by the State Board of Education Charter Review Panel in 2008; Friends was founded in 2006 and awarded federal 501c3 tax exempt status in 2012.

V.3. Private Educational Institutions

Not applicable.

V.4. Future Sustainability Plan

This capital grant request is for construction only. Following the completion of construction, the cost of operations will be supported by operational budgets and user fees.

V.5. Certificate of Good Standing

A Certificate of Good Standing from the Department of Commerce and Consumer Affairs, dates January 13, 2018, is attached to this proposal.

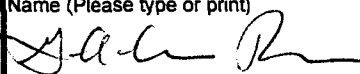
V.6. Public Purpose

The applicant affirms that this request for capital grant funding is, as described in the appropriate sections of the application, fully compliant with the public purpose requirements of Hawai'i Revised Statutes, Section 42F-102. The signed full declaration statement is included with this application.

BUDGET REQUEST BY SOURCE OF FUNDS

Period: July 1, 2018 to June 30, 2019

Applicant: Friends of Kona Pacific PCS

BUDGET CATEGORIES	Total State Funds Requested (a)	Total Federal Funds Requested (b)	Total County Funds Requested (c)	Total Private/Other Funds Requested (d)
A. PERSONNEL COST				
1. Salaries	0			
2. Payroll Taxes & Assessments	0			
3. Fringe Benefits	0			
TOTAL PERSONNEL COST	0			
B. OTHER CURRENT EXPENSES				
1. Airfare, Inter-Island	0			
2. Insurance	0			
3. Lease/Rental of Equipment	0			
4. Lease/Rental of Space	0			
5. Staff Training	0			
6. Supplies	0			
7. Telecommunication	0			
8. Utilities	0			
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TOTAL OTHER CURRENT EXPENSES	0			
C. EQUIPMENT PURCHASES	0			
D. MOTOR VEHICLE PURCHASES	0			
E. CAPITAL	745,000			
TOTAL (A+B+C+D+E)	745,000			
SOURCES OF FUNDING		Budget Prepared By:		
(a) Total State Funds Requested	745,000	Gretchen Currie Ramirez		808-328-8721
(b) Total Federal Funds Requested		Name (Please type or print)		Phone
(c) Total County Funds Requested				1-16-18
(d) Total Private/Other Funds Requested		Signature of Authorized Official		Date
TOTAL BUDGET	745,000	Gretchen Currie Ramirez, Authorized Official		
		Name and Title (Please type or print)		

BUDGET JUSTIFICATION - PERSONNEL SALARIES AND WAGES

Period: July 1, 2018 to June 30, 2019

Applicant: Friends of Kona Pacific PCS

POSITION TITLE	FULL TIME EQUIVALENT	ANNUAL SALARY A	% OF TIME ALLOCATED TO GRANT REQUEST B	TOTAL STATE FUNDS REQUESTED (A x B)
Board President/Treasurer: Michael Kramer	0.2	\$0.00	20.00%	\$ -
Board Secretary: Krista Donaldson	0.1	\$0.00	10.00%	\$ -
Board Member: Keala Ching	0.05	\$0.00	5.00%	\$ -
Board Member: Rafael Ramirez	0.1	\$0.00	10.00%	\$ -
Board Member: Chris Wilcox	0.05	\$0.00	5.00%	\$ -
				\$ -
KPPCS Development Director Gretchen Currie Ramirez	0.1	n/a	10.00%	\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
TOTAL:				0.00
JUSTIFICATION/COMM Board members and officers provide expert services pro bono. Project contractors will be paid using requested capital funds.				

BUDGET JUSTIFICATION - EQUIPMENT AND MOTOR VEHICLES

Period: July 1, 2018 to June 30, 2019

Applicant: Friends of Kona Pacific PCS

DESCRIPTION EQUIPMENT	NO. OF ITEMS	COST PER ITEM	TOTAL COST
n/a			\$ -
			\$ -
			\$ -
			\$ -
			\$ -
TOTAL:			

JUSTIFICATION/COMMENTS:

DESCRIPTION OF MOTOR VEHICLE	NO. OF VEHICLES	COST PER VEHICLE	TOTAL COST
n/a			\$ -
			\$ -
			\$ -
			\$ -
			\$ -
TOTAL:			

JUSTIFICATION/COMMENTS:

BUDGET JUSTIFICATION - CAPITAL PROJECT DETAILS

Period: July 1, 2018 to June 30, 2019

Applicant: Friends of Kona Pacific PCS

FUNDING AMOUNT REQUESTED						
TOTAL PROJECT COST	ALL SOURCES OF FUNDS RECEIVED IN PRIOR YEARS		STATE FUNDS REQUESTED	OTHER SOURCES OF FUNDS REQUESTED	FUNDING REQUIRED IN SUCCEEDING YEARS	
	FY: 2016-2017	FY: 2017-2018	FY:2018-2019	FY:2018-2019	FY:2019-2020	FY:2020-2021
PLANS	\$4,000		\$0			
LAND ACQUISITION			\$0			
DESIGN	\$60,000		\$0			
CONSTRUCTION	\$836,000		\$745,000			
EQUIPMENT	\$300,000		\$0			
TOTAL:	\$1,200,000		\$745,000			
JUSTIFICATION/COMMENTS: Land was acquired by applicant in 2011 using \$2M of federal direct loan funds.						

GOVERNMENT CONTRACTS, GRANTS, AND / OR GRANTS IN AID

Applicant: Friends of Kona Pacific PCS: current government grant-funded projects

Contracts Total: \$1,310,283

	CONTRACT DESCRIPTION	EFFECTIVE DATES	AGENCY	GOVERNMENT ENTITY (U.S. / State / Haw / Hon / Kau / Mau)	CONTRACT VALUE
1	FarmCorps Hawaii	9-1-17 – 8-31-18	AmeriCorps (CNCS)	U.S. Federal	\$84,186
2	NRCS EQUIP Agroforestry Project	1-27-15 – 12-3-19	USDA/NRCS	U.S. Federal	\$26,097
3	West Hawaii Community Kitchen	in progress	Legislative Grant in Aid	Hawaii State	\$1,200,000
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**DECLARATION STATEMENT OF
APPLICANTS FOR GRANTS PURSUANT TO
CHAPTER 42F, HAWAII REVISIED STATUTES**

The undersigned authorized representative of the applicant certifies the following:

- 1) The applicant meets and will comply with all of the following standards for the award of grants pursuant to Section 42F-103, Hawaii Revised Statutes:
 - a) Is licensed or accredited, in accordance with federal, state, or county statutes, rules, or ordinances, to conduct the activities or provide the services for which a grant is awarded;
 - b) Complies with all applicable federal and state laws prohibiting discrimination against any person on the basis of race, color, national origin, religion, creed, sex, age, sexual orientation, or disability;
 - c) Agrees not to use state funds for entertainment or lobbying activities; and
 - d) Allows the state agency to which funds for the grant were appropriated for expenditure, legislative committees and their staff, and the auditor full access to their records, reports, files, and other related documents and information for purposes of monitoring, measuring the effectiveness, and ensuring the proper expenditure of the grant.
- 2) If the applicant is an organization, the applicant meets the following requirements pursuant to Section 42F-103, Hawaii Revised Statutes:
 - a) Is incorporated under the laws of the State; and
 - b) Has bylaws or policies that describe the manner in which the activities or services for which a grant is awarded shall be conducted or provided.
- 3) If the applicant is a non-profit organization, it meets the following requirements pursuant to Section 42F-103, Hawaii Revised Statutes:
 - a) Is determined and designated to be a non-profit organization by the Internal Revenue Service; and
 - b) Has a governing board whose members have no material conflict of interest and serve without compensation.

Pursuant to Section 42F-103, Hawaii Revised Statutes, for grants used for the acquisition of land, when the organization discontinues the activities or services on the land acquired for which the grant was awarded and disposes of the land in fee simple or by lease, the organization shall negotiate with the expending agency for a lump sum or installment repayment to the State of the amount of the grant used for the acquisition of the land.

Further, the undersigned authorized representative certifies that this statement is true and correct to the best of the applicant's knowledge.

FRIENDS OF KONA PACIFIC PUBLIC CHARTER SCHOOL

(Typed Name of Individual or Organization)

(Signature)

(Date)

Gretchen Currie Ramirez
(Typed Name)

Authorized Representative
(Title)



APPLICATION FOR GRANT IN AID 2018

EXHIBITS

Maps of Project Location (2)

Architectural Renderings

West Hawaii Community Kitchen (3)

Building G (3)

West Hawaii Community Kitchen Bid Set of Drawings and Specifications (43 pages)

Building G Floor Plan and Elevations

Building G Permit information

(the actual permit was too large to scan, so the application is included)

Community Kitchen and Building G Scope of Work (2 pages)

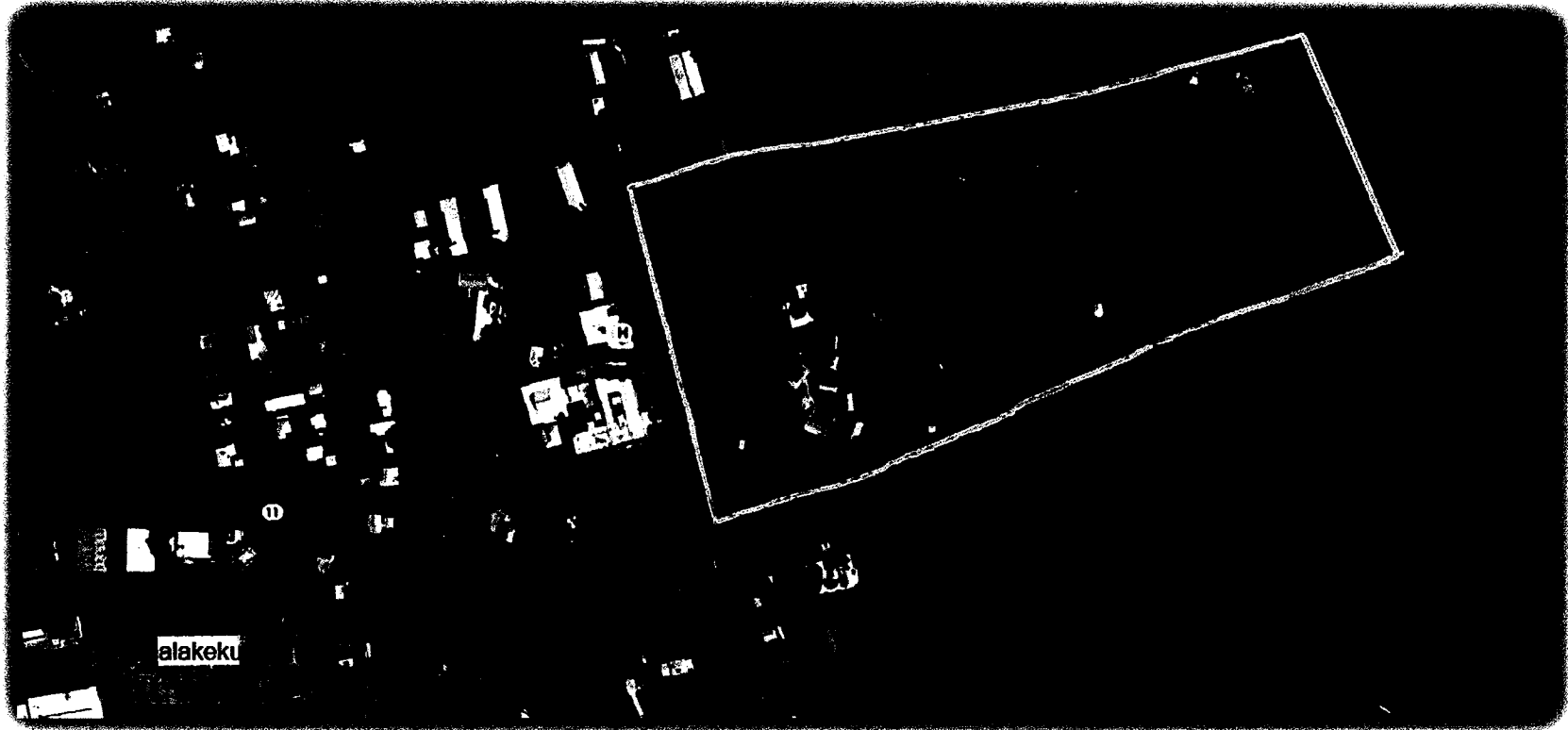
Certificate of Good Standing

Project Map #1: TMK Map Showing Location of Property



Applicant: Friends of Kona Pacific Public Charter School

Project Map #2: Google Maps



The image above shows the outline of Friends' Kanaeue Community Learning Center and its location in relation to Kona Community Hospital and the commercial area of Kealahou. The existing school buildings can be seen in the lower left of the outlined area. The farming areas (green areas without trees), roads and residences can also be seen.

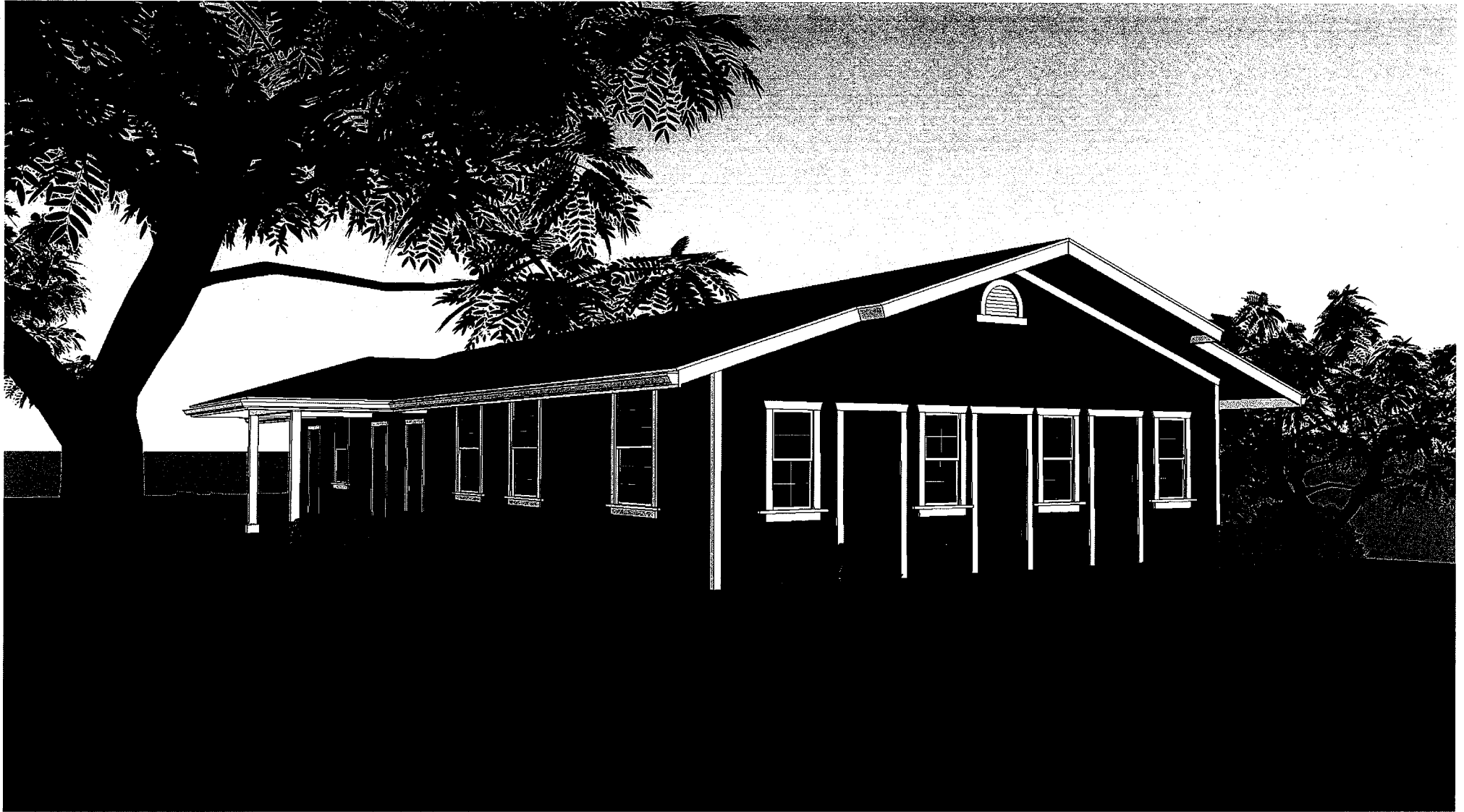








KPPCS Phase IIb - Building "G"



KPPCS Phase IIb - Building "G"



KPPCS Phase IIb - Building "G"

FRIENDS OF KPPCS COMMUNITY KITCHEN BUILDING

79-7595 D HAWAII BELT ROAD, KEALAKEKUA, HAWAII
(3) 7-9-010-001

PROPOSED COMMUNITY KITCHEN
(SEE SHEET A1 FOR PARTIAL SITE PLAN)

NOTE:

THE CONTRACTORS SHALL VISIT AND INSPECT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH SITE CONDITIONS AND STUDY THESE DOCUMENTS FULLY BEFORE AGREEING TO WORK ON THE PROJECT. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL JOB SITE MEASUREMENTS AND CONDITIONS FOR CONFORMANCE WITH THESE DOCUMENTS. THEIR AGREEMENT TO WORK ON THE PROJECT CONSTITUTES VERIFICATION THAT THEY HAVE SO STUDIED THE SITE AND THESE DOCUMENTS. SHOULD THE CONTRACTOR FIND ANY ERRORS, OMISSIONS OR DISCREPANCIES IN THESE DOCUMENTS WITH RESPECT TO THE SITE OBSERVATIONS OR OTHER PORTIONS OF THESE DOCUMENTS, THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ANY SUCH CONDITIONS. THE CONTRACTOR AND THE ARCHITECT SHALL RESOLVE ALL ERRORS, OMISSIONS, DISCREPANCIES AND UNCLEAR AREAS, WHICH MIGHT ALTER THEIR BID DURING CONSTRUCTION PRIOR TO COMMENCING THAT PORTION OF THE WORK.

SHEET INDEX

SHT.	DESCRIPTION
T1	TITLE SHEET / OVERALL SITE PLAN
C1	TITLE SHEET
C2	GRADING PLAN OVERALL
C3	GRADING PLAN BUILDING
C31	PROFILES
C4	NOTES & DETAILS
C5	DETAILS
A1	PARTIAL SITE PLAN
A2	FLOOR PLAN
A3	EXTERIOR ELEVATIONS
A4	ROOF PLAN
A5	REFLECTED CEILING PLAN
A6	INTERIOR ELEVATIONS
A7	INTERIOR ELEVATIONS
A8	INTERIOR ELEVATIONS
A9	ACCESSIBILITY NOTES & DETAILS
S1	BUILDING SECTIONS
S2	BUILDING SECTIONS
S3	FOUNDATION PLAN
S4	ROOF FRAMING PLAN
S5	STRUCTURAL DETAILS
S6	GENERAL NOTES and DETAILS
E1	ELECTRICAL SITE PLAN
E2	POWER PLAN
E3	LIGHTING PLAN
M1	MECHANICAL PLANS
M2	MECHANICAL PLANS
P1	PLUMBING PLANS
P2	PLUMBING PLANS
P3	PLUMBING PLANS
K1	FOOD SERVICE EQUIPMENT PLAN
K2	EQUIPMENT SCHEDULE
K3	ELECTRICAL ROUGH-IN PLAN
K4	PLUMBING ROUGH-IN PLAN
K5	WALL BACKING PLAN
K6	UNDERSLAB ROUGH-IN PLAN
K7	HOOD/MFG DRAWINGS
K71	HOOD/MFG DRAWINGS
K72	HOOD/MFG DRAWINGS
K73	HOOD/MFG DRAWINGS
K74	HOOD/MFG DRAWINGS
K75	HOOD/MFG DRAWINGS
K8	ELEVATIONS

OVERALL SITE PLAN

SCALE: 1"=50'



CONSULTANTS

ARCHITECT:
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WEIGANG/MARVICK and ASSOCIATES
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(808) 881-2465

ELECTRICAL CONSULTANT:
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CRAGS DUAN-ELECTRICAL ENGINEER
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(808) 324-2660

SURVEYOR:
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P.O. BOX 1241
WAILAND, HI 96755-1041
CELL: (808) 431-5048

GENERAL CONTRACTOR:
TEC
TEC
TEC

PROJECT DATA

Friends of Kona Pacific Public
Charter School
T.M.K. (3) 7-9-010-001
Front and Rear Setbacks 20.0'
Side Setbacks 20.0'
Jurisdiction
Hawaii County, Hawaii

Code compliance:
IBC 2006
UPC 2006
NEC 2008
ECC 2006

Seismic Zone: E
(Seismic Design Category)
Wind loads: 105 mph/ EXP C
Floor Live Load: n/a
Roof Live Load: 20 psf
Occupancy:
Office: B
Kitchens: F-1

Construction Type: VB
Fire Sprinklers: No
Height: Allowable 40'
Actual: 18'
Stories: Allowable 1
Actual: 1
Occupant Load:
Office: 11 occupants
(107 sf / 100 sf per occupant = 0.72)
Kitchens/ Restrooms: 7 occupants
(257 sf / 200 sf per occupant = 0.28)
TOTAL OCCUPANT LOAD: 18

BUILDING AREA CALCULATIONS:

OFFICE 1073 SF
KITCHEN/ RESTROOMS 1257 SF
COVERED ENTRY/LANAI 490 SF
TOTAL BUILDING AREA 2,820 SF

PARKING:
REQUIRED (2820 SF / 300 SF) 10 STALLS
PROVIDED: 9 STANDARD
1 HANDICAP
10 TOTAL

BY: REVISIONS

FRIENDS OF KPPCS
COMMUNITY KITCHEN BUILDING
 KEALAKEKUA, HAWAII



NO WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION.

Signature: 4/23/13
C. CAVEDON

**WEIGANG
MARVICK
& ASSOCIATES**

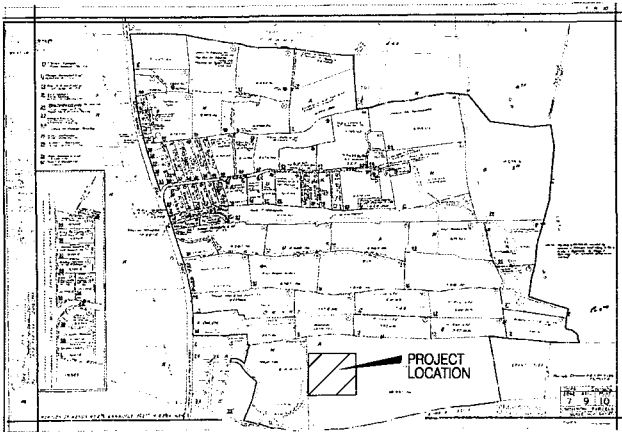
ARCHITECTS
RESIDENTIAL-COMMERCIAL

75-221 HUALALAI ROAD
KAILUA-KONA, HI 96740
TELEPHONE (808) 324-3755
www.WeigangMarvick.com

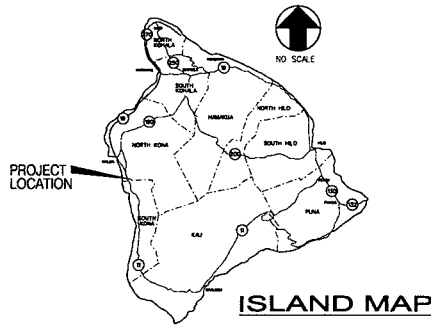
DATE: 6-30-2017



TITLE SHEET / OVERALL SITE PLAN



VICINITY MAP



ISLAND MAP

**SITE IMPROVEMENTS FOR CAMPUS EXPANSION
KONA PACIFIC CHARTER SCHOOL**

KEALAKEKUA, NORTH KONA, HAWAII COUNTY

TMK: (3)7-9-010:001

Prepared For:

Friends of Kona Pacific Public Charter School
P.O. Box 115
Kealahou, HI 96750

APPROVED

DIRECTOR, DEPARTMENT OF PUBLIC WORKS, COUNTY OF HAWAII DATE

DIRECTOR, PLANNING DEPARTMENT, COUNTY OF HAWAII DATE

SHEET INDEX		Project Number :
C-1	TITLE SHEET	Scale :
C-2	GRADING PLAN - OVERALL	Drawn By :
C-3	GRADING PLAN - BUILDING	Date : 10 Aug 07
C-3.1	PROFILES	Revision :
C-4	NOTES DETAILS	
C-5	DETAILS	
		Title Sheet
		Drawing Number :
		C-1

KONAWAI
ENGINEERING, LLC
Civil Engineering & Wastewater Design
Stephen J. Holm, P.E. P.O. Box 448 Kailua-Kona, Hawaii 97746
808 253 5277 (F) 808 253 1668 (C) info@konawaiengineering.com



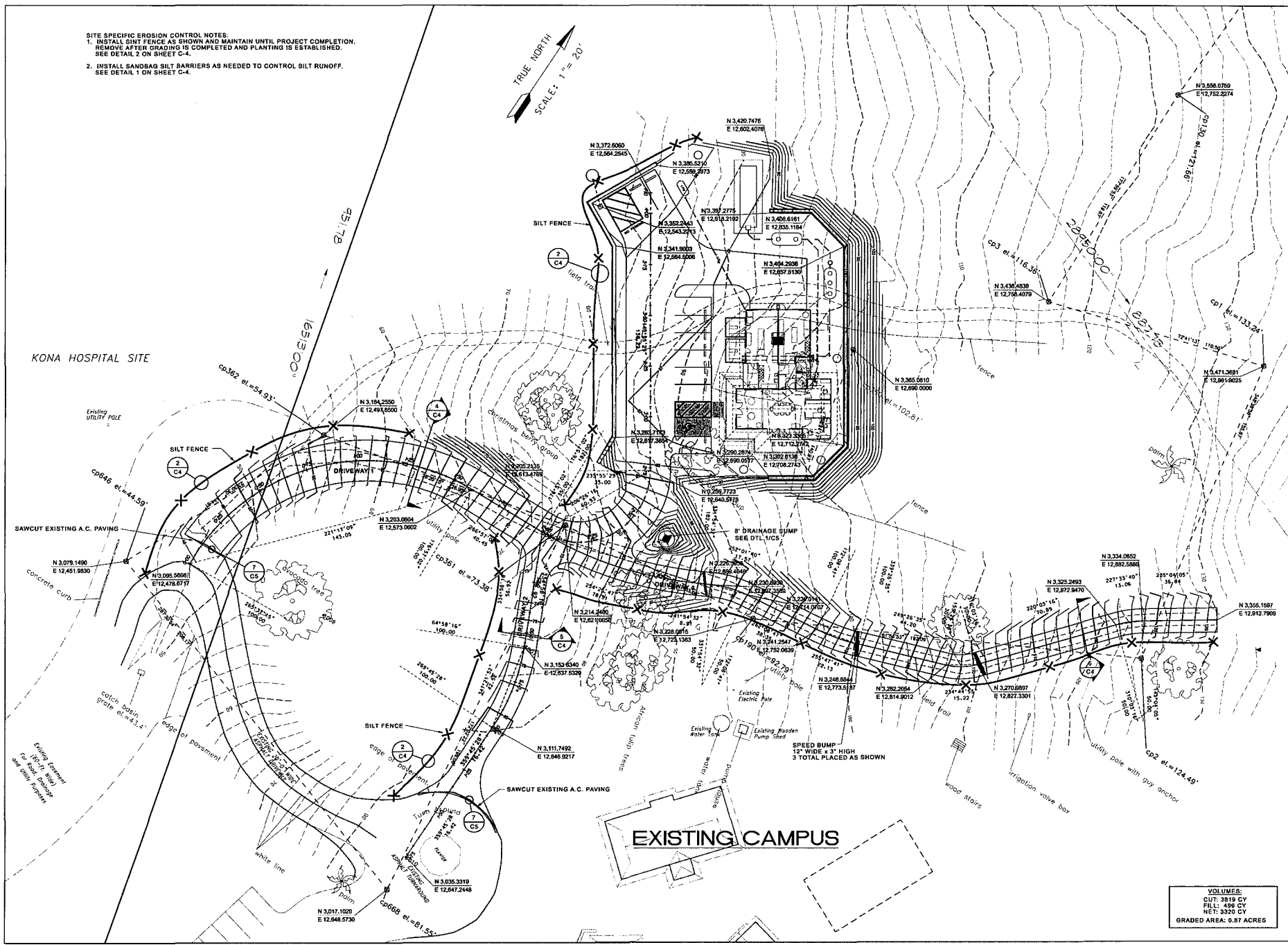
This work was prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer in the State of Hawaii. My License No. is 18118. I am duly Licensed in the State of Hawaii. I am duly Licensed in the State of Hawaii. I am duly Licensed in the State of Hawaii.

Engineer Title License Expires: 08/31/2011

SITE IMPROVEMENTS FOR CAMPUS EXPANSION
KONA PACIFIC CHARTER SCHOOL
KEALAKEKUA, NORTH KONA, HAWAII COUNTY
TMK: (3)7-9-010:001

SITE SPECIFIC EROSION CONTROL NOTES:
 1. INSTALL SILT FENCE AS SHOWN AND MAINTAIN UNTIL PROJECT COMPLETION. REMOVE AFTER GRADING IS COMPLETED AND PLANTING IS ESTABLISHED. SEE DETAIL 2 ON SHEET C-4.
 2. INSTALL SANDRAG SILT BARRIERS AS NEEDED TO CONTROL SILT RUNOFF. SEE DETAIL 1 ON SHEET C-4.

TRUE NORTH
 SCALE: 1" = 20'



KONAWAI
 ENGINEERING, LLC
 Civil Engineering & Wastewater Design
 Stephen J. Hancock, P.E. P.O. Box 4241 Kailua-Kona, Hawaii 96745
 808.325.3377 (H) 808.325.7965 (F) s.j.hancock@konawai.com

STEPHEN J. HANCOCK, P.E.
 LICENSED PROFESSIONAL ENGINEER
 No. 1979-C
 STATE OF HAWAII
 U.S. DEPARTMENT OF COMMERCE
 NATIONAL BOARD OF SURVEYING AND MAPPING
 LICENSE NO. 1979-C
 This work was prepared by me or under my direct supervision and I am a duly licensed professional engineer in the State of Hawaii. I am a duly licensed Professional Engineer in the State of Hawaii. I am a duly licensed Professional Engineer in the State of Hawaii.
 Date: _____
 Location: _____

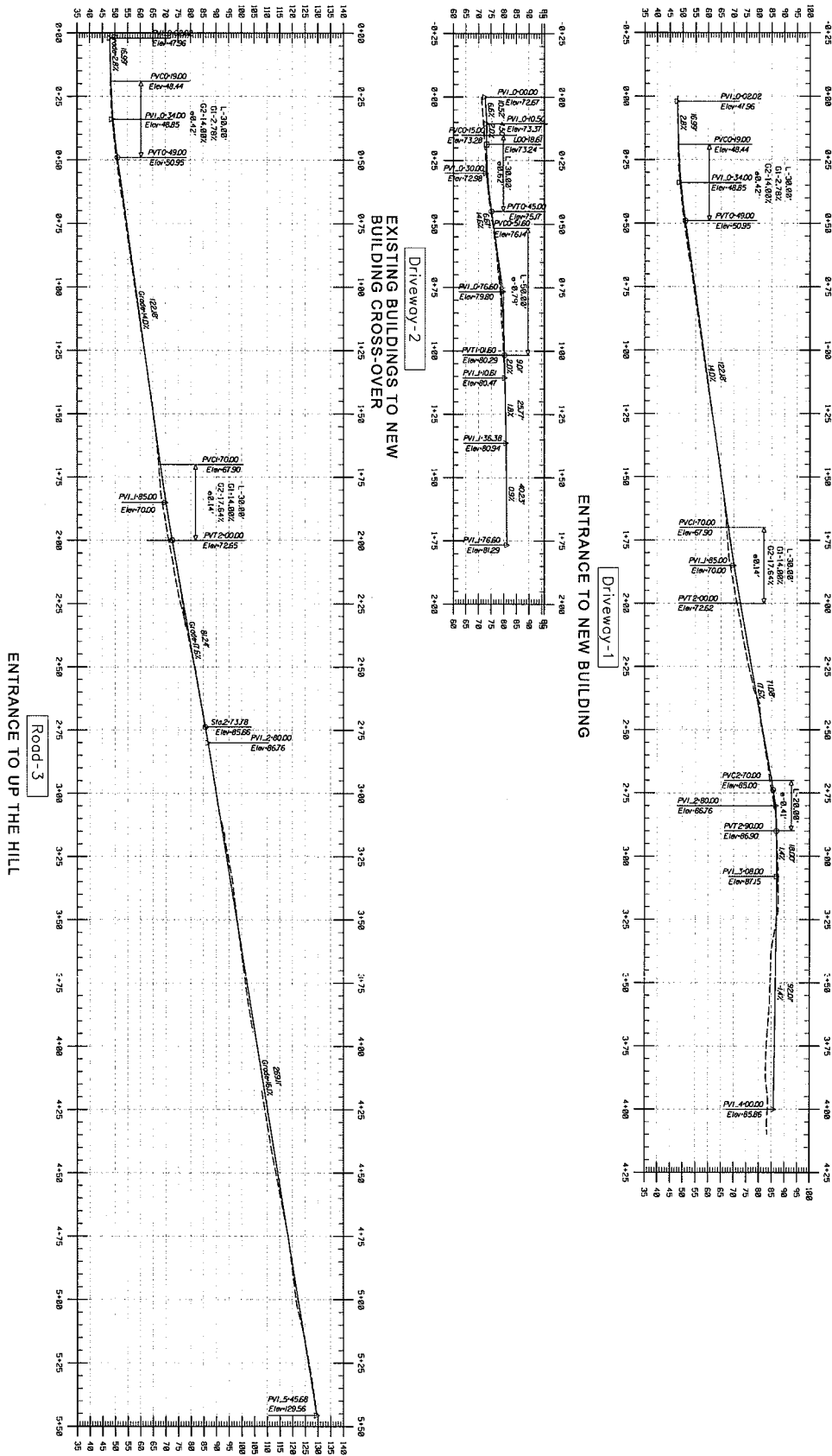
SITE IMPROVEMENTS FOR CAMPUS EXPANSION
 KONA PACIFIC CHARTER SCHOOL
 KEALAHEKUA, NORTH KONA, HAWAII COUNTY
 T.M.C. (07)-50100.001

Project Number:
 Scale:
 Drawn By:
 Date: 14 Aug. 2017
 Revision: 8-8-2017 minor edit of existing survey

GRADING PLAN OVERALL

Drawing Number:
C-2

VOLUMES:
 CUT: 3819 CY
 FILL: 459 CY
 NET: 3320 CY
 GRADED AREA: 9.97 ACRES



PROFILES
 Drawing Number: C-3.1

Project Name: SITE IMPROVEMENTS FOR CAMPUS EXPANSION
 KONA PACIFIC CHARTER SCHOOL
 KEALAKEKUA, NORTH KONA, HAWAII COUNTY
 TMC: (37) 9-010-001

This work was prepared by me or under my supervision and construction will be under my observation (as defined under sec 10-115-2 of Hawaii Administrative Rules.)
 Engineer: STEPHEN J. HENNETT
 Date: LICENSE EXPIRES 2/28/18

KONAWAI
 ENGINEERING, LLC
 Civil Engineering & Wastewater Design
 Stephen J. Hennett, P.E. PO Box 4481 Keolu-Kona, Hawaii 96745
 808.325.5177 (1) 808.325.7966 (F) shennett@konawaiengineering.com

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE COUNTY OF HAWAII DEPT. OF PUBLIC WORKS "STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" DATED SEPT. 1984 AND "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTIONS" DATED SEPT. 1986 AND SUPPLEMENT AND AMENDMENT MADE THEREIN.
- ELEVATIONS SHOWN ON THE PLANS ARE BASED ON MEAN SEA LEVEL.
- THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR UTILITIES SUCH AS ELECTRICITY, WATER, ETC. REQUIRED FOR HIS OPERATIONS AND ALL COSTS SHALL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL CONDUCT ALL TESTS AS REQUESTED BY THE ENGINEER AND BE RESPONSIBLE FOR EXPENSES INCURRED IN CONDUCTING THESE TESTS.
- THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER "AS BUILT" DRAWINGS OF ALL NEW UTILITIES AND STRUCTURES UPON COMPLETION OF WORK. DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- IF DIMENSIONAL ERRORS OR CONFLICTS OCCUR, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND THE CONSTRUCTION ENGINEER AND SHALL WAIT FOR CLARIFICATION BEFORE RESUMING OR COMMENCING WORK ON THE DISCREPANCY ITEM.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS FROM APPROPRIATE GOVERNMENT AGENCIES.
- THE CONTRACTOR SHALL COORDINATE THE STORAGE OF HIS MATERIAL AND EQUIPMENT WITH THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, AND SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF SAME IN THE EVENT OF DAMAGES DUE TO HIS CONSTRUCTION PRACTICES. BEFORE DISRUPTING SERVICE OF ANY UTILITY, THE CONTRACTOR SHALL CONTACT AND COORDINATE HIS WORK WITH THE RESPONSIBLE UTILITY AUTHORITY.
- THE ENGINEER RESERVES THE RIGHT TO MAKE CHANGES TO THE DRAINAGE SYSTEM AS SUCH CHANGES ARE FOUND TO BE NECESSARY AS THE LAND IS CLEARED AND EROSION CONTROL CONSTRUCTION PROGRESSES.
- EXISTING UTILITY LOCATIONS ARE FROM THE PROVIDED TOPD. CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- CONTRACT LIMITS ARE TO THE SETBACK LIMITS SHOWN ON SITEPLAN. CHANGES TO COVENANT SETBACKS TO BE APPROVED (SEE CGMP'S).
- THE CONTRACTOR SHALL RESTRICT HIS WORK ACTIVITIES, EQUIPMENT AND MATERIALS TO WITHIN THE CONTRACT LIMITS, UNLESS PERMITTED BY OWNER'S REPRESENTATIVE.
- SHOULD ANY UNANTICIPATED ARCHAEOLOGICAL SITES OR FEATURES BE UNCOVERED DURING LAND PREPARATION ACTIVITIES, WORK WITHIN THE AFFECTED AREA SHALL IMMEDIATELY CEASE AND THE PLANNING DEPARTMENT AND THE OWNER'S DESIGNATED REPRESENTATIVE NOTIFIED. NO WORK WITHIN THE AFFECTED AREA SHALL RESUME UNTIL CLEARANCE IS OBTAINED FROM THE PLANNING DEPARTMENT, THROUGH THE OWNER'S DESIGNATED REPRESENTATIVE.

COMPACTION

- ALL ENGINEERED FILL AND BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF ASTM D 1557 MAXIMUM DRY DENSITY IN UNIFORM 6-INCH LIFTS UNLESS OTHERWISE APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- IN ALL OTHER AREAS COMPACT ALL FILL MATERIAL TO 90% OF MAXIMUM DENSITY. FILL TO BE PLACED IN 6 INCH MAXIMUM LIFTS.
- EXCAVATION AND SUBGRADE PREPARATION PER SEC. 12 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986.

GRADING SLOPE & SETBACK REQUIREMENTS
-HAWAII COUNTY CODE, CHAPTER 10 ARTICLE 3

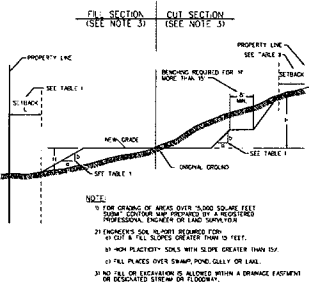


TABLE 1 (SLOPE) - FT. (%)		TABLE 2 (MIN. SETBACKS)	
EXISTING GROUND MATERIAL	HEIGHT OF CUT OR FILL, FT.	HEIGHT OF CUT OR FILL, FT.	MIN. SETBACK, FT.
UNWEATHERED ROCK	1/2 - 1	0 TO 1/2	4
DISCOMPOSED ROCK OR ROCK & SOIL MATURE	1/2 - 1	MORE THAN 1/2 FEET TO 6 FEET	6
SOIL AND WEATHERED ROCK	1/2 - 1	MORE THAN 6 FEET TO 10 FEET	8
FACE OF EXPOSED SOIL	1/2 - 1	MORE THAN 10 FEET	8

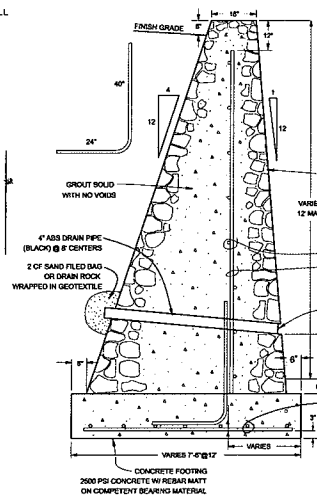
*1/4" SLOPES ONLY

GRADING NOTES

- ALL GRADING WORK SHALL CONFORM TO CHAPTER 10 OF THE HAWAII COUNTY CODE. SHOULD A GRADING PERMIT BE REQUIRED, NO WORK WILL COMMENCE UNTIL THE DEPARTMENT OF PUBLIC WORKS (DPW) APPROVES A GRADING PERMIT.
- THE CONTRACTOR SHALL REMOVE ALL SILT AND DEBRIS DEPOSITED IN DRAINAGE FACILITIES, ROADWAYS AND OTHER AREAS RESULTING FROM HIS WORK. THE COSTS INCURRED FOR ANY NECESSARY REMEDIAL ACTION BY THE DPW SHALL BE PAYABLE BY THE CONTRACTOR.
- THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND SURROUNDING AREAS FREE FROM DUST NUISANCES. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL RULES OF THE STATE DEPARTMENT OF HEALTH, HAR 11-60.1, FUGITIVE DUST.
- ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE HAWAII ADMINISTRATIVE RULES, TITLE 11, CHAPTER 55, WATER POLLUTION CONTROL AND CHAPTER 54, WATER QUALITY STANDARDS, AND TO THE EROSION AND SEDIMENTATION CONTROL STANDARDS AND GUIDELINES OF THE DEPARTMENT OF PUBLIC WORKS, COUNTY OF HAWAII.
- THE CONTRACTOR SHALL SOD OR PLANT ALL SLOPES AND EXPOSED AREAS IMMEDIATELY AFTER THE GRADING WORK HAS BEEN COMPLETED.
- FILLS ON SLOPES STEEPER THAN 5:1 SHALL BE KEYS.
- THE CONTRACTOR SHALL INFORM THE DPW OF THE LOCATION OF THE DISPOSAL AND/OR BORROW SITE(S) REQUIRED FOR THIS PROJECT WHEN APPLICATION FOR A GRADING PERMIT IS MADE. THE DISPOSAL AND/OR BORROW SITE(S) MUST ALSO FULLFILL THE REQUIREMENTS OF THE GRADING ORDINANCE.
- NO GRADING WORK SHALL BE DONE ON SATURDAYS, SUNDAYS AND HOLIDAYS ANYTIME WITHOUT PRIOR APPROVAL FROM THE CHIEF ENGINEER. GRADING WORK ON NORMAL DAYS SHALL BE BETWEEN THE HOURS OF 7:00 A.M. TO 3:30 P.M.
- FILLS SHALL BE COMPACTED TO 90 PERCENT (90%) OF MAXIMUM DENSITY PER ASTM D-1557 TEST.
- THE CONTRACTOR SHALL REMOVE ALL VEGETATION BEFORE THE PLACING OF FILLS ON A NATURAL GROUND SURFACE.

EROSION/TEMPORARY DUST CONTROL

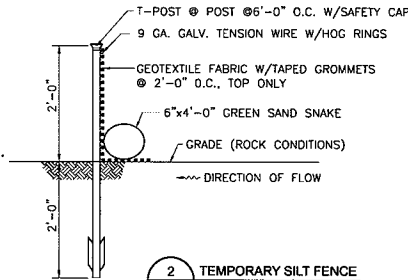
- DURING CONSTRUCTION, PREVENTIVE MEASURES SHALL BE USED TO CONTROL FORESEEABLE DUST, EROSION OR SEDIMENTATION PROBLEMS WHICH MAY ARISE AS THE JOB PROGRESSES.
- DRAINAGE SYSTEMS AS SHOWN ON THE CONSTRUCTION PLANS SHALL BE CONSTRUCTED AS EARLY AS PRACTICALLY POSSIBLE.
- THE CONTRACTOR SHALL CONDUCT HIS GRADING OPERATIONS SO THAT EXCAVATION, EMBANKMENT AND IMPORTED MATERIAL SHALL BE DAMPENED WITH WATER DURING GRADING OPERATIONS AT ALL TIMES.
- WATER TRUCK AND/OR TEMPORARY SPRINKLERS SHALL BE AVAILABLE ON THE JOB SITE AT ALL TIMES TO ENSURE BARE EARTH DOES NOT CREATE A DUST PROBLEM.
- TEMPORARY VEGETATIVE COVER SHALL BE PLANTED WITHIN A PERIOD OF 30 CALENDAR DAYS AFTER THE SITE HAS BEEN GRADED OR BARED OF VEGETATION OR IF FINAL GRADING OR LANDSCAPING OF THE SITE WILL BE SUSPENDED FOR MORE THAN 30 CALENDAR DAYS. TEMPORARY VEGETATIVE COVER SHALL CONSIST OF 40 LBS. COMMON RYE GRASS SEED PER ACRE, 400 LBS. PER ACRE 10-10-10 OR EQUIVALENT FERTILIZER WORKED INTO SEED BED BEFORE PLANTING. TEMPORARY SPRINKLER SYSTEM TO BE INSTALLED CONCURRENTLY WITH ALL PLANTINGS. PLANTING AND MAINTENANCE OF GRASS SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", SEPTEMBER 1986.
- FUGITIVE DUST AND SOLID WASTE DISPOSAL DURING GRUBBING AND GRADING ACTIVITIES SHALL MEET REQUIREMENTS OF ADMINISTRATIVE RULES, TITLE 11, CHAPTER 60, AIR POLLUTION CONTROL AND CHAPTER 58, SOLID WASTE MANAGEMENT CONTROL.



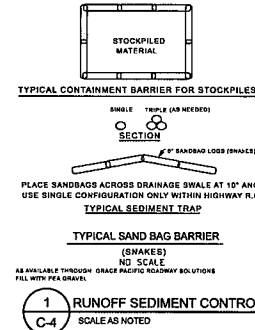
3 RETAINING ROCKWALL
SCALE AS NOTED

RETAINING WALL NOTES:

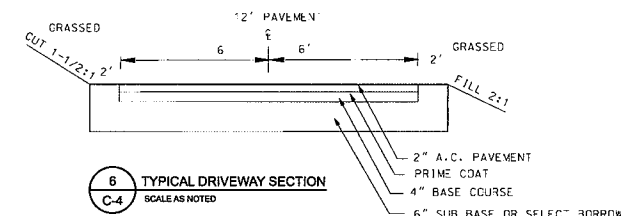
- CONTRACTOR TO NOTIFY ENGINEER TO INSPECT FOUNDATION BEFORE START OF WALL.
- ENGINEER MAY RE-DIRECT INSTALLATION OF REINFORCING STEEL AS SITE CONDITIONS ARE REVEALED.
- GROUT MIX TO BE 2000 PSI (28 DAY STRENGTH).
- ALL STONES TO BE SOUND BASKAL THAT IS CLEAN AND FREE OF LOOSE MATERIAL OR DIRT.
- NO WALLS TO EXCEED 4 FEET IN HEIGHT WITHOUT A BUILDING PERMIT.
- FILL BEHIND RETAINING WALLS SHALL BE FREE OF VEGETATION OR DELETERIOUS MATERIAL.
- FILL SHALL BE COMPACTED TO 90 PERCENT (90%) OF MAXIMUM DENSITY PER ASTM D-1557.
- ALL GRADING WORK SHALL CONFORM TO CHAPTER 10 OF THE HAWAII COUNTY CODE FOR PUBLIC WORKS CONSTRUCTION.



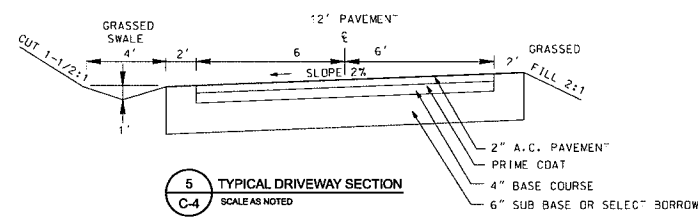
2 TEMPORARY SILT FENCE
SCALE AS NOTED



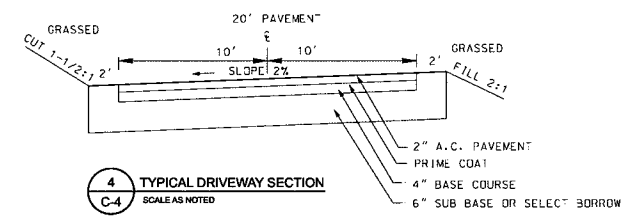
1 RUNOFF SEDIMENT CONTROL
SCALE AS NOTED



6 TYPICAL DRIVEWAY SECTION
SCALE AS NOTED



5 TYPICAL DRIVEWAY SECTION
SCALE AS NOTED



4 TYPICAL DRIVEWAY SECTION
SCALE AS NOTED

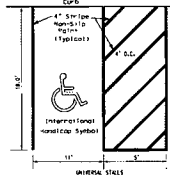
KONAWAI ENGINEERING, LLC
Civil Engineering & Wastewater Design
Shane - HONOLULU, HI 96813-4811 | Phone - 808.953.9965 | Fax - 808.953.9977 | Email - shane@konawaieng.com

Professional Engineer License No. 19715-C
Professional Engineer License No. 19715-C
Professional Engineer License No. 19715-C

SITE IMPROVEMENTS FOR CAMPUS EXPANSION
KONA PACIFIC CHARTER SCHOOL
KEALANAKUA, NORTH KONA, HAWAII COUNTY
TRAC (07-0401001)

Project Number:
Scale:
Drawn By:
Date: 14 Aug 2017
Revision:

NOTES & DETAILS
Drawing Number:
C-4

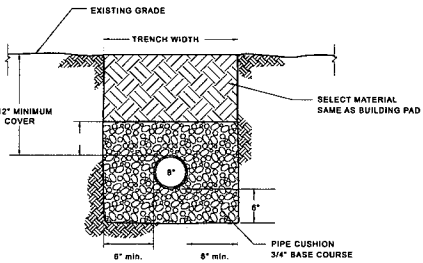


Painted access aisle in connection with paths of travel and parking areas per ADA standard 4.3.3.1. Ground and floor surfaces along accessible routes and in accessible rooms and spaces including floors, walls, ramps, stairs, and curbs must meet the slope, firm, slip-resistance, and other criteria with 4.3.3.1 per ADA - 2010.1 - 11. Slope: coefficient of friction of 0.8 is required for spaces 4' wide and 0.8 for "open". Firm: applied in access aisles, accessible paths of travel, ramps, stairs, and accessible parking spaces shall meet or exceed the static coefficient of friction for accessible routes and ramps. Recommended access aisle depth is "Morgan Safety Product" MS-25 Safety Tarping.

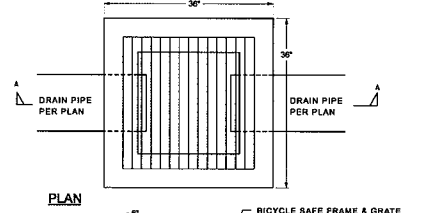
Painting contractor is responsible to verify that paint applied to working surfaces meets minimum coefficient of friction ADA standard, and submit three copies of the manufacturer's specifications that document product testing for ADA compliance to owner/architect for approval.

ADA PAINT SPECIFICATIONS

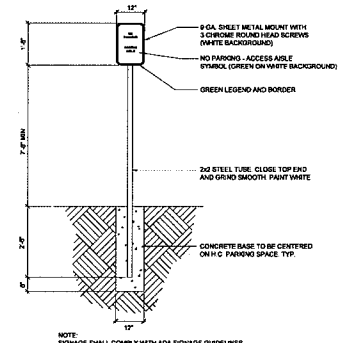
NOTE: SIGN TO MEET ADAAG 4.30.1.1, 2, 3 & 5 SIGN TO BE MOUNTED ON BUILDING OR SIGN AT 5'-0" MIN. HEIGHT SIGN AS NOTED



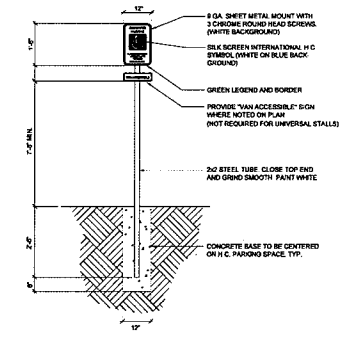
6 PIPE TRENCH - SINGLE
SCALE: NTS



3 2' x 2' CATCH BASIN
SCALE: NTS
BOX APPROVAL BY ENGINEER

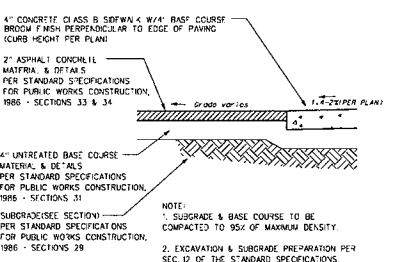


EXTERIOR ADA ACCESS AISLE SIGN
SCALE AS SHOWN

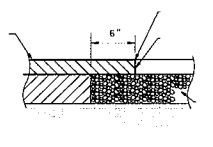


EXTERIOR ADA STALL SIGN
SCALE AS SHOWN

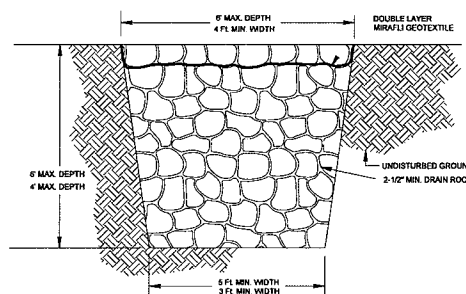
9 ADA PARKING DETAILS
SCALE: NTS



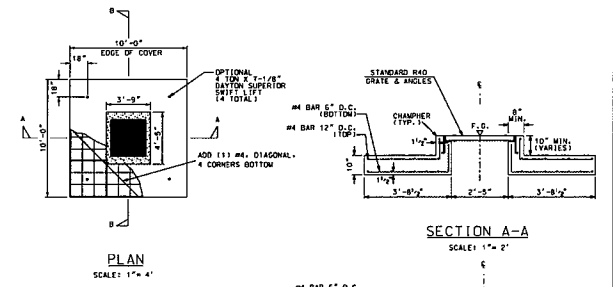
8 TYPICAL CONCRETE & AC SECTION
SCALE: NTS



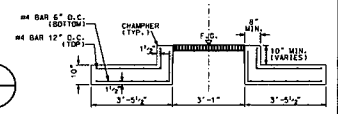
7 A.C. PAVING TIE-IN
SCALE: NTS



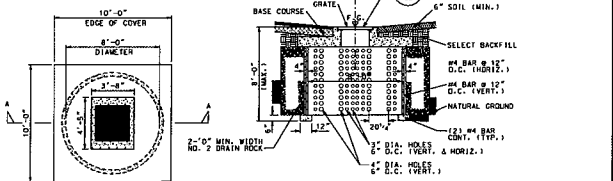
4 4-FL ROCK DRAIN
6-FL ROCK DRAIN
(PER PLAN) SCALE: NTS



MODIFIED R40C COVER
SCALE: 1" = 4"



SECTION A-A
SCALE: 1" = 2"



1 8-FL DRAINAGE SUMP
SCALE: 1" = 4"

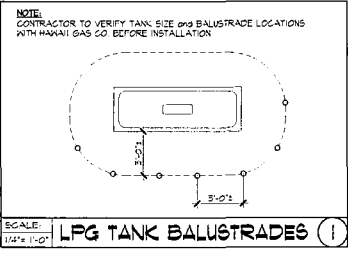
KONAWAI ENGINEERING, LLC
Civil Engineering & Wastewater Design
Supplier - Member P.E. PO Box 4481, Aiea-Hawaii, Hawaii 96705
808.533.5777 (T) 808.533.7868 (F) info@konawaieng.com

REGISTERED PROFESSIONAL ENGINEER
NO. 1978-C
HAWAII, U.S.A.
This work was prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer in the State of Hawaii.
Date: _____
Title: _____

SITE IMPROVEMENTS FOR CAMPUS EXPANSION
KONA PACIFIC CHARTER SCHOOL
KEALAHEKUA, NORTH KONA, HAWAII COUNTY
TRK: (31) 2010001

Project Number: _____
Scale: _____
Drawn By: _____
Date: 14 Aug 2017
Revision: _____

DETAILS
Drawing Number: **C-5**



FIRE SAFETY WATER CALCULATION

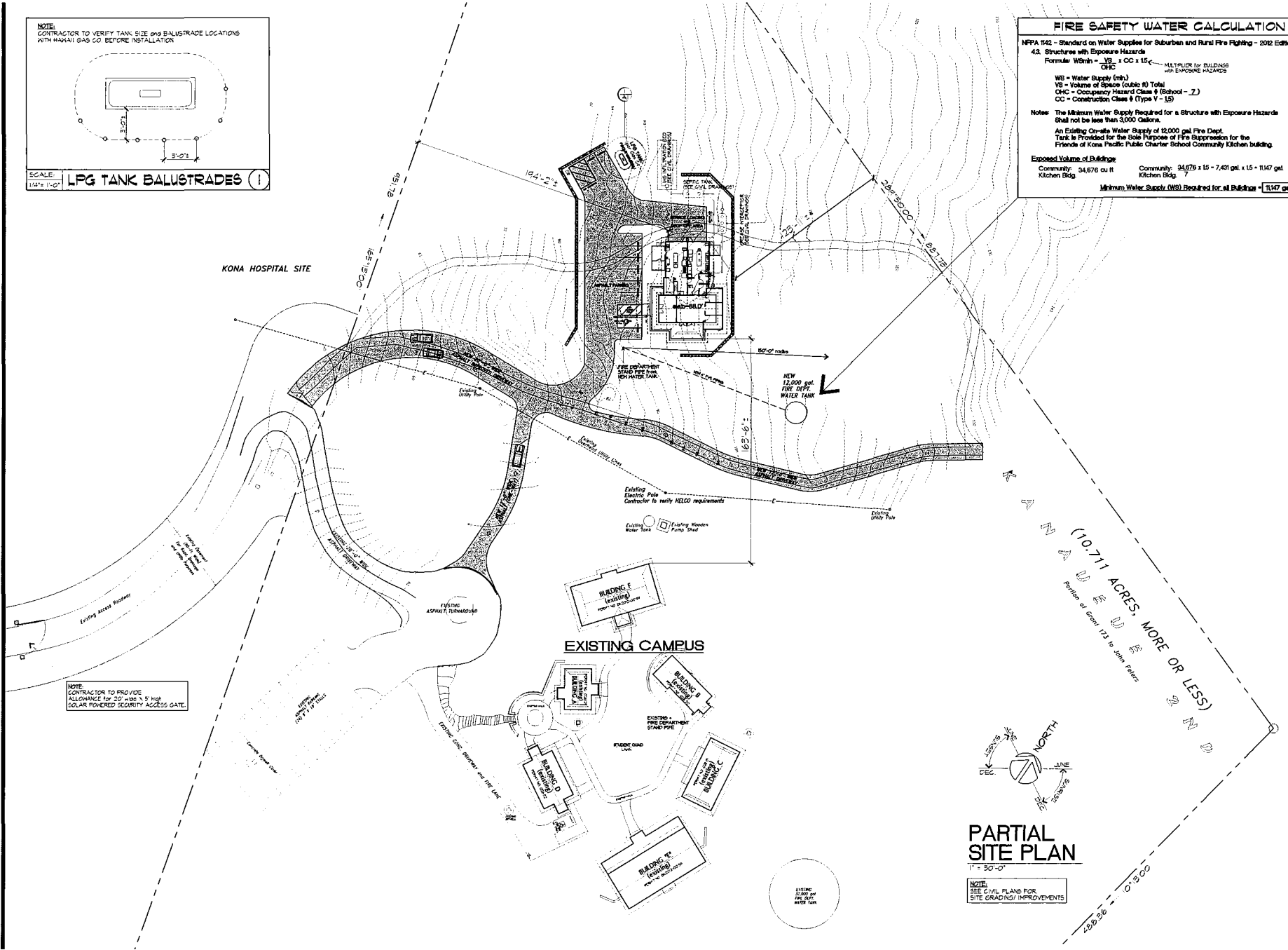
NFPA 142 - Standard on Water Supplies for Suburban and Rural Fire Fighting - 2002 Edition
 4.3. Structures with Exposure Hazards
 Formula: $W_{min} = 1.5 \times CC \times 1.5 \times \dots$ MULTIPLIER FOR BUILDINGS WITH EXPOSURE HAZARDS

WB = Water Supply (in)
 VS = Volume of Space (cubic ft) Total
 OHC = Occupancy Hazard Class # (School = 2)
 CC = Construction Class # (Type V = 1.5)

Note: The Minimum Water Supply Required for a Structure with Exposure Hazards Shall not be less than 3,000 Gallons.
 An Existing On-site Water Supply of 12,000 gal Fire Dept. Tank is Provided for the Sole Purpose of Fire Suppression for the Friends of Kona Pacific Public Charter School Community Kitchen building.

Exposed Volume of Building:
 Community: $34,676 \times 15 = 7,431 \text{ gal} \times 1.5 = 11,147 \text{ gal}$
 Kitchen Bldg: 7
Minimum Water Supply (WS) Required for all Building = 11,147 gal

BY: REVISIONS



FRIENDS OF KPPCS
 COMMUNITY KITCHEN BUILDING
 KEALAKEKUA, HAWAII



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION.

Signature: 1/20/17
 1/20/17

WEIGANG MARVICK & ASSOCIATES

ARCHITECTS
 RESIDENTIAL-COMMERCIAL
 75-227 HUALALAI ROAD
 KAILUA-KONA HI, 96740
 TELEPHONE: (808) 324-3765
 www.WeigangMarvick.com

DATE: 8-30-2017

A1
 OF
9

PARTIAL SITE PLAN

FRIENDS OF KPPCS
COMMUNITY KITCHEN BUILDING
KEALEAKUJA, HAWAII



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONTROL AND I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF HAWAII.

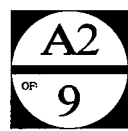
Signature: *[Signature]* 4/20/18 142714

WEIGANG MARVICK & ASSOCIATES

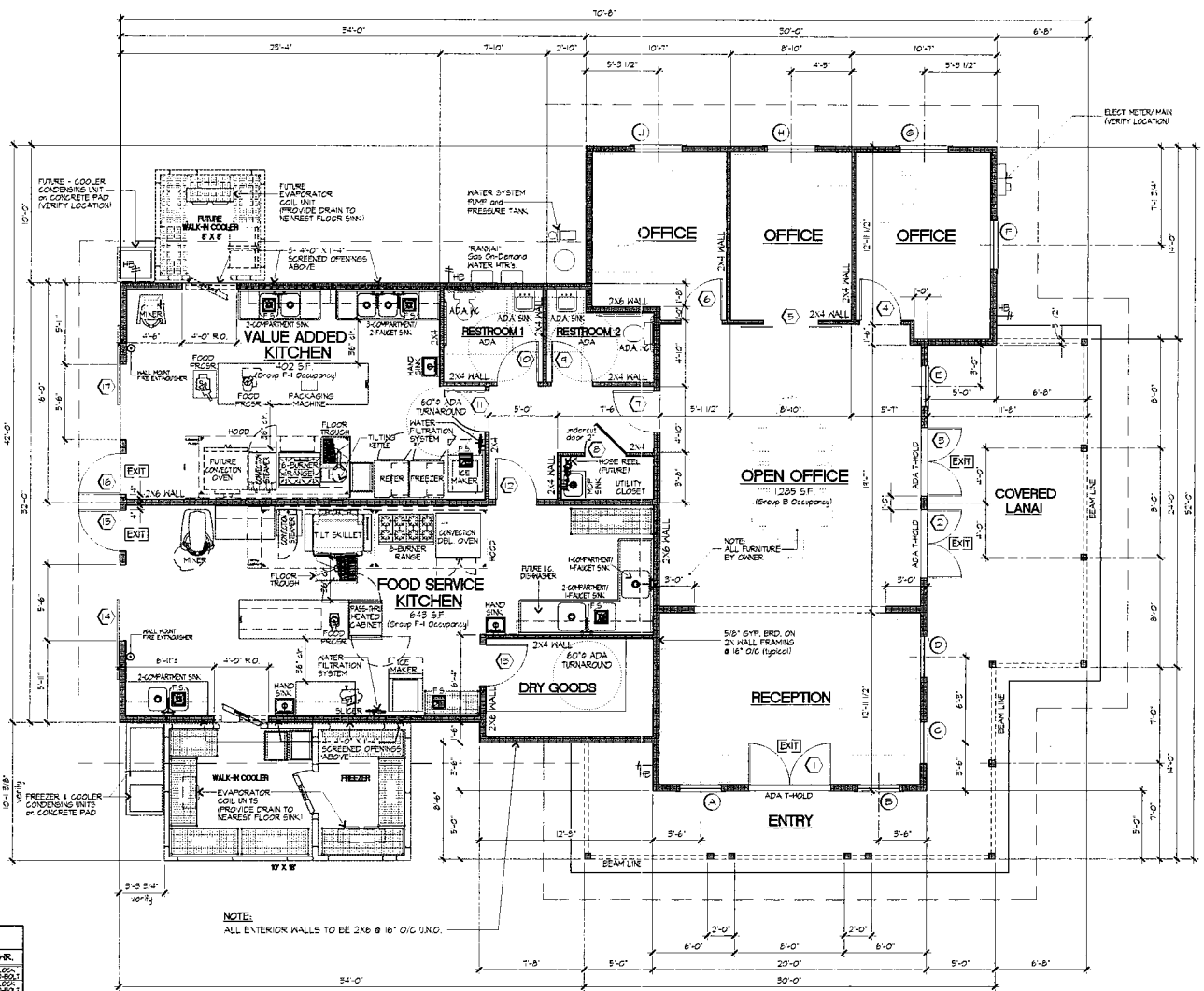
ARCHITECTS
RESIDENTIAL-COMMERCIAL

75-227 HALALAI ROAD
KAILUA-KONA HI 96740
TELEPHONE (808) 324-5755
www.WeigangMarvick.com

DATE: 8-30-2017



FLOOR PLAN



WINDOW SCHEDULE

	SIZE	SCRN	TYPE	DESCRIPTION
A	3'-0" X 4'-0"	YES	SINGLE HUNG	VINYL "MILGARD" OR EQUAL
B	3'-0" X 4'-0"		SINGLE HUNG	
C	3'-0" X 4'-0"		SINGLE HUNG	
D	3'-0" X 4'-0"		SINGLE HUNG	
E	3'-0" X 4'-0"		SINGLE HUNG	
F	3'-6" X 4'-0"		SINGLE HUNG	
G	3'-6" X 4'-0"		SINGLE HUNG	
H	3'-6" X 4'-0"		SINGLE HUNG	
J	3'-6" X 4'-0"		SINGLE HUNG	

DOOR NOTES:

- FLOOR TRANSITION 1/2" BEVEL, 1:2 OR LESS.
- NOTE: INTERIOR AND EXTERIOR DOOR SHALL NOT REQUIRE MORE THAN 5 LBS. FORCE TO OPEN. CLOSER #10" SHALL TAKE NO LESS THAN 3 SECONDS TO A POINT 3" BEFORE LATCH. DOORS SHALL HAVE APPROVE ADA HANDLES / HARDWARE.
- VERIFY ALL DOOR SELECTIONS WITH OWNER & ARCHITECT.

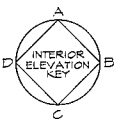
DOOR SCHEDULE

	SIZE	THK.	TYPE	DESCRIPTION	HINGES	HRDR.
1	PR 3'-0" X 7'-0"	1 3/4"	EXTERIOR LEAF	10-LITE HOOD FRAME (PAINTED) W/ KICK PLT.	3/16" DIA.	NEW LUGS, W/ SCREWS
2	PR 2'-6" X 7'-0"		EXTERIOR LEAF	10-LITE HOOD FRAME (PAINTED) W/ KICK PLT.	3/16" DIA.	NEW LUGS, W/ SCREWS
3	PR 2'-6" X 7'-0"		EXTERIOR LEAF	10-LITE HOOD FRAME (PAINTED) W/ KICK PLT.	3/16" DIA.	NEW LUGS, W/ SCREWS
4	3'-0" X 7'-0"		INTERIOR LEAF	10-LITE HOOD FRAME (PAINTED)	3/16" DIA.	PRIVACY LOCK
5	PR 2'-0" X 7'-0"		INT. BARN DR. SLIDER	10-LITE HOOD FRAME (PAINTED)		FLUSH PULL
6	3'-0" X 7'-0"		INTERIOR LEAF	10-LITE HOOD FRAME (PAINTED)	3/16" DIA.	PRIVACY LOCK
7	3'-0" X 7'-0"		INTERIOR LEAF	SOLID CORE, PAINT GRADE	3/16" DIA.	NEW LUGS, W/ SCREWS
8	3'-0" X 7'-0"		INTERIOR LEAF	SOLID CORE, PAINT GRADE	3/16" DIA.	FLUSH PULL
9	3'-0" X 7'-0"		INTERIOR LEAF	SOLID CORE PAINT GRADE W/ SELF CLOSER (12"x12" transfer lever grill)	3/16" DIA.	PRIVACY LOCK
10	3'-0" X 7'-0"		INTERIOR LEAF	SOLID CORE PAINT GRADE W/ SELF CLOSER (12"x12" transfer lever grill)	3/16" DIA.	PRIVACY LOCK
11	3'-0" X 7'-0"		INTERIOR LEAF	SOLID CORE PAINT GRADE (12"x12" transfer lever grill)	3/16" DIA.	PASSAGE
12	3'-0" X 7'-0"		INTERIOR LEAF	SOLID CORE PAINT GRADE (12"x12" transfer lever grill)	3/16" DIA.	NEW LUGS, W/ SCREWS
13	3'-0" X 7'-0"		INTERIOR LEAF	SOLID CORE PAINT GRADE	3/16" DIA.	PASSAGE
14	5'-6" X 7'-0"		EXT. BARN DR. SLIDER	SEE ELEVATION FOR DETAIL		FLUSH PULL
15	3'-0" X 7'-0"	1 3/4"	EXTERIOR LEAF	SOLID CORE PAINT GRADE	3/16" DIA.	NEW LUGS, W/ SCREWS
16	3'-0" X 7'-0"	1 3/4"	EXTERIOR LEAF	SOLID CORE PAINT GRADE	3/16" DIA.	NEW LUGS, W/ SCREWS
17	5'-6" X 7'-0"		EXT. BARN DR. SLIDER	SEE ELEVATION FOR DETAIL		FLUSH PULL

ENTRANCE NOTE:
Provide a readily visible, durable sign posted on the egress side on or adjacent to the door listing: THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED. The sign shall be a letters 1' x 12" (min) high on a contrasting background.

FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE:
SEE KITCHEN DESIGNER FOR EQUIPMENT LAYOUT.



PROJECT DATA

Friends of Kona Pacific Public
Charter School
TMX (3) 7-9-010-001

BUILDING AREA CALCULATIONS:

OFFICES	1,075 SF
KITCHEN RESTROOMS	1,287 SF
COVERED ENTRY/LANAI	440 SF
TOTAL BUILDING AREA	2,802 SF

BY: REVISIONS



FRIENDS OF KPCCS
 COMMUNITY KITCHEN BUILDING
 HEAALAKAHEVA, HAWAII



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY SUPERVISION.

Signature: *[Signature]* 4/2018
 License No. 15187

WEIGANG MARVICK & ASSOCIATES

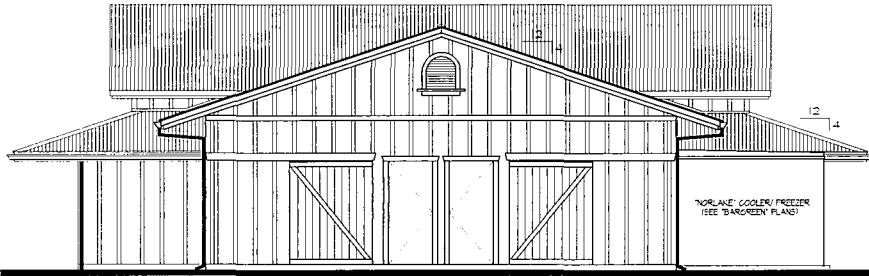
ARCHITECTS
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75-221 HUALALAI ROAD
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 TELEPHONE: (808) 324-3755
 www.WeigangMarvick.com

DATE: 8-30-2017

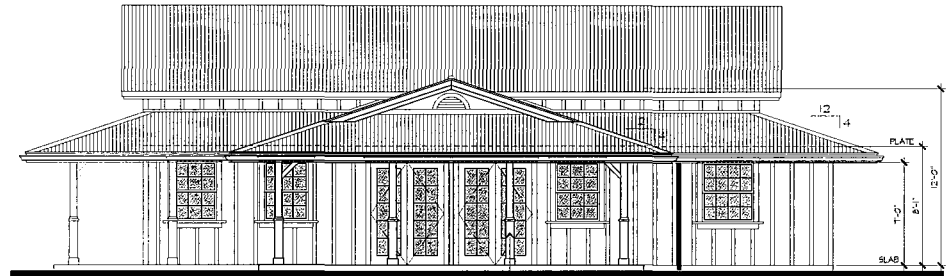
A3
 OF
9

EXTERIOR ELEVATIONS



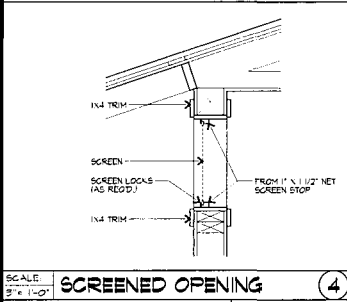
NORTH ELEVATION

SCALE: 1/4"=1'-0"



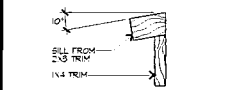
SOUTH ELEVATION

SCALE: 1/4"=1'-0"



SCREENED OPENING

SCALE: 3/4"=1'-0"

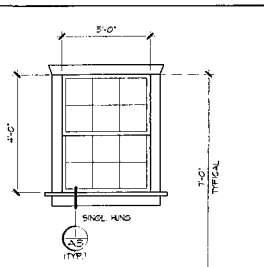


SILL DETAIL

SCALE: 3/4"=1'-0"

INTERIOR FINISH NOTES:

WINDOW & DOOR TRIM:
 1/4" TRIME TRIM (TYPICAL)
 WALLS & CEILING: (TYPICAL)
 1/2" GYP. BOARD SMOOTH FINISH (TYPICAL)
 SQUARE CORNERS
 PAINT: "BEHR" OR EQUAL 1 COAT PRIMER
 2 COATS FINISH (EGGSHHELL). COLOR TBD.
 BASE BOARD:
 4" VINE GROOVE BASE (COLOR TBD)



ALL WINDOWS TO BE "MILGARD" Sliding Series
 VINYL FRAME, CLEAR DOUBLE GLAZED WITH FLAT GRIDS.
 (SEE EXTERIOR ELEVATIONS) WHITE COLOR MATCH EXISTING

TYP. EXT. WIN. ELEV.

SCALE: 1/2"=1'-0"

MIN. COMMERCIAL RIB OR APPROVED EQUAL
 CORRUGATED METAL ROOFING W/
 RIDGE HP CAPS COLOR TO MATCH
 EXISTING BUILDINGS.

FLASHING (AS REQ'D.)
 # COOLER TO BUILDING
 CONNECTION (TYP.)

DOWNSPUTS

SCREENED OPENINGS
 SEE DETAIL #1/AS

"NORLAK" COOLER/FREEZER
 (SEE "BARGREEN" PLAN)

FRONT ELEVATION

SCALE: 1/4"=1'-0"

PRE-FAB WOOD
 ATTIC VENTS

2"X6 BARGE FASCIA
 W/ 1"X4 FASCIA BAND

1"X4 TRIM (TYPICAL)

1"X4 CORNER TRIM (TYPICAL)

6"X6 POST W/
 WOOD BASE
 (2) (3/8")
 TYP.

1"X4 TRIM (TYPICAL)

1"X4 CORNER TRIM (TYPICAL)

FRANGY BREAK
 SEAMLESS ALUM. GUTTER
 (COLOR MATCH FASCIA)

2"X6 FASCIA (TYP.)

6"X6 POSTS (TYP.)
 SEE DETAIL #2/AS

EXTERIOR FINISH NOTES:

WALL & TRIM PAINT:
 "BEHR" PREMIUM PLUS PAINT OR EQUAL
 - ONE COAT PRIMER/ TWO COAT FINISH
 - COLOR & FINISH TBD
 - GALK & SEAL JOINTS

MIN. COMMERCIAL RIB OR APPROVED EQUAL
 CORRUGATED METAL ROOFING W/
 RIDGE HP CAPS COLOR TO MATCH
 EXISTING BUILDINGS.

FRANGY BREAK
 SEAMLESS ALUM. GUTTER
 (COLOR MATCH FASCIA)

2"X6 FASCIA (TYP.)

1"X4 TRIM (TYPICAL)

DOWNSPUTS

ELAB

1"X4 CORNER TRIM (TYPICAL)

5"X8" FLAT THU FLYWOOD
 W/ 1/2" CEDAR BATTS, # 16" O.C.
 (TYPICAL) ON TYVEK WRAP

REAR ELEVATION

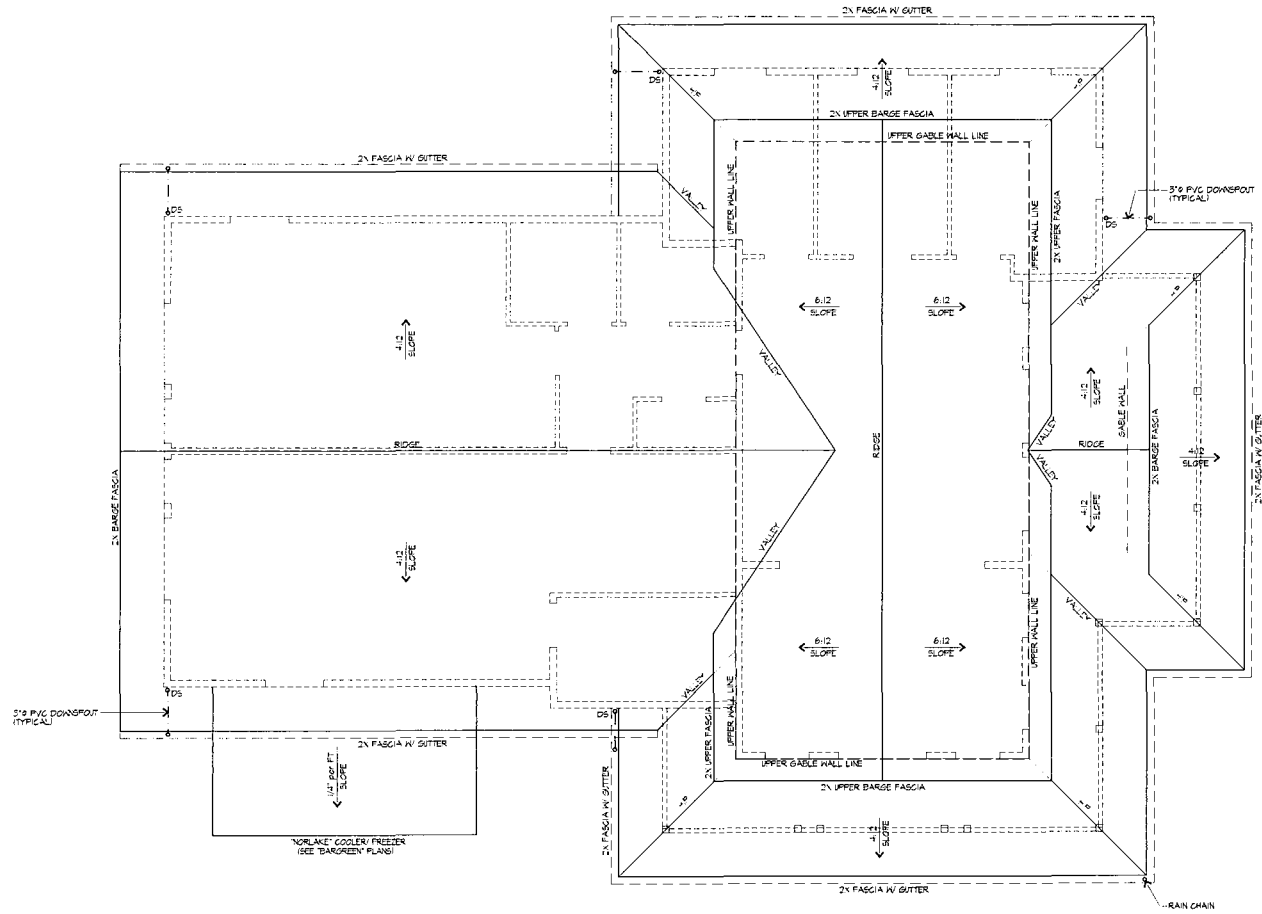
SCALE: 1/4"=1'-0"

SILL DETAIL

SCALE: 3/4"=1'-0"

TYP. EXT. WIN. ELEV.

SCALE: 1/2"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"

BY:	REVISIONS:

FRIENDS OF KPCCS
COMMUNITY KITCHEN BUILDING
KEALAKEKUA, HAWAII



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION and CREATING THIS PROJECT OF THIS SUBJECT WILL BE UNDER MY OBSERVATION.

DATE: 4/20/18
DRAWN BY: [Signature]

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DATE: 9-30-2017



ROOF PLAN

BY: REVISIONS:

FRIENDS OF KPPCS
 COMMUNITY KITCHEN BUILDING
 KEALAKEKUA, HAWAII



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 E-Stamp: _____

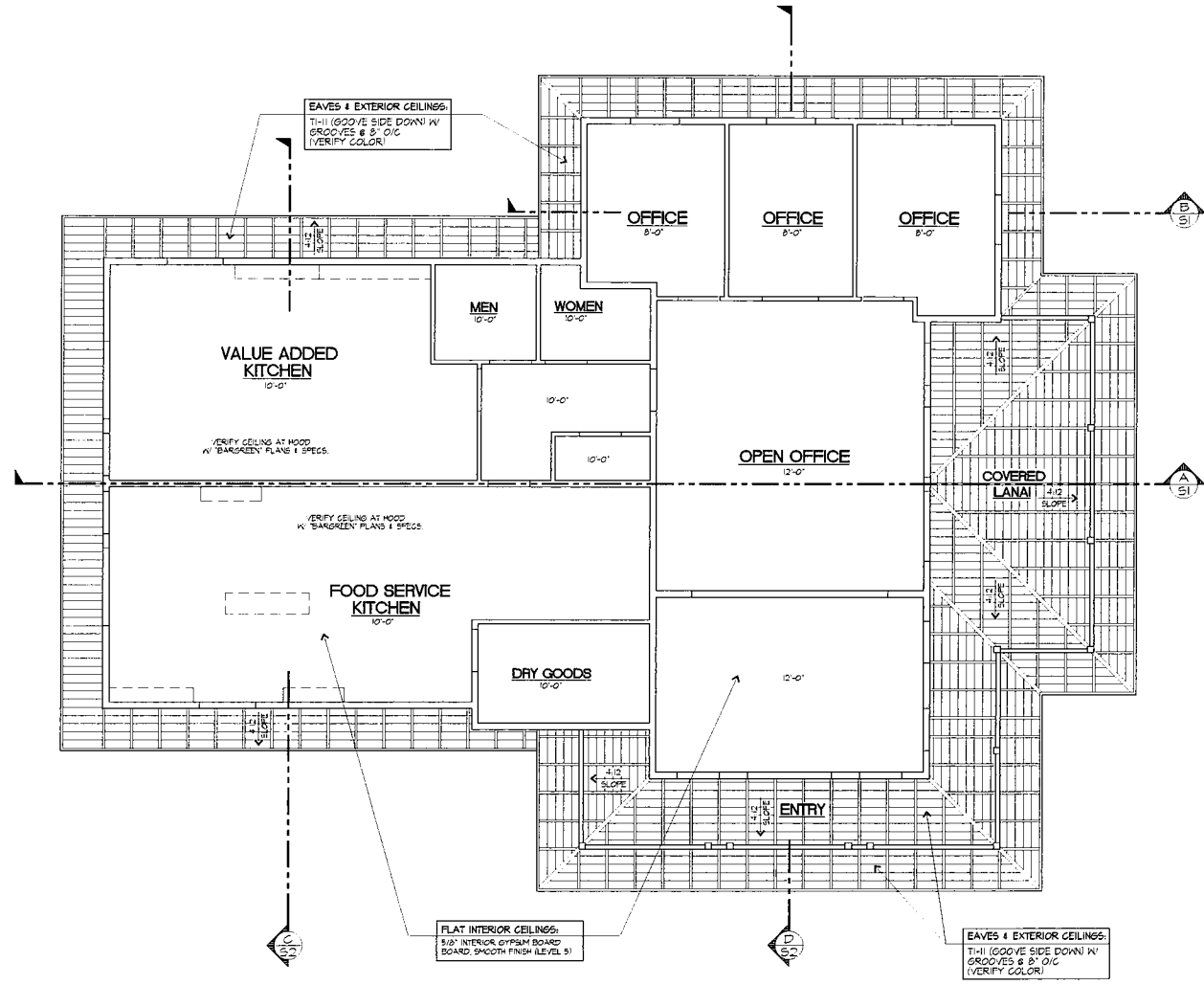
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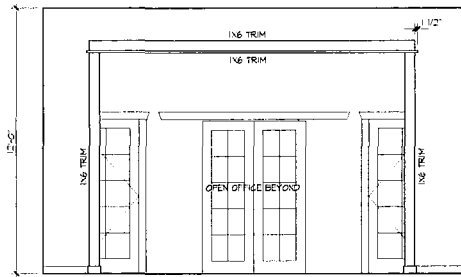
RCP



REFLECTED CEILING PLAN

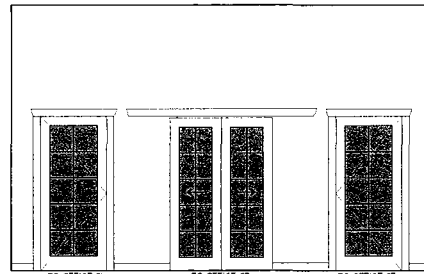
SCALE: 1/4"=1'-0"

NOTE:
 ALL CEILINGS ARE APPROXIMATE
 FINISH HEIGHTS. SEE SECTIONS FOR
 ADDITIONAL FRAMING DIMENSIONS.



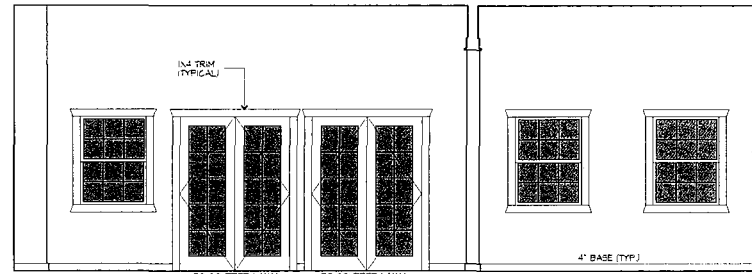
ENTRY

A



OPEN OFFICE

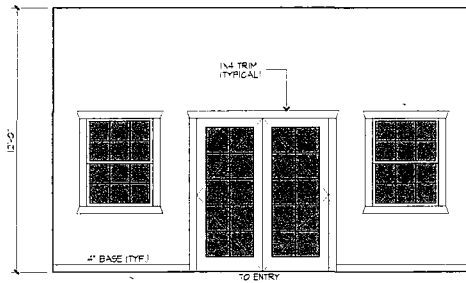
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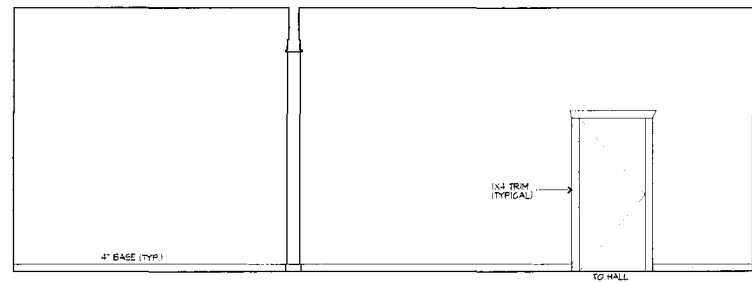
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SCALE: 3/8" = 1'-0"



ENTRY

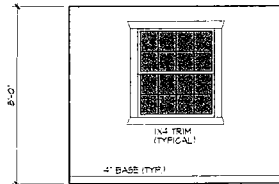
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OPEN OFFICE

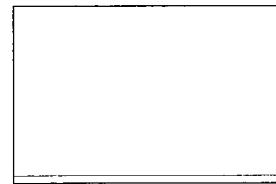
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SCALE: 3/8" = 1'-0"

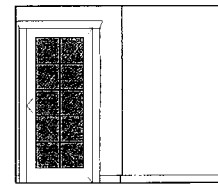


OFFICE #1

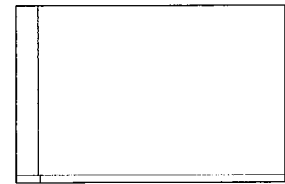
A



B

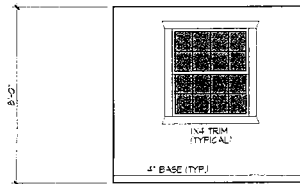


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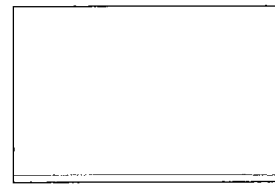
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SCALE: 3/8" = 1'-0"

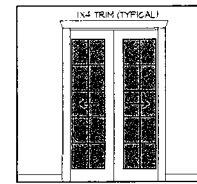


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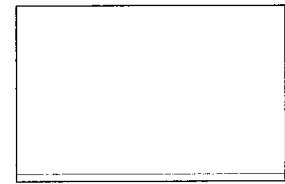
A



B



C



D

SCALE: 3/8" = 1'-0"

BY: REVISIONS:

FRIENDS OF KPPCS
 COMMUNITY KITCHEN BUILDING
 HEAALAKYKUA, HAWAII



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Signature: _____
 Date: _____

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 TELEPHONE: (808) 324-3755
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DATE: 8-30-2017

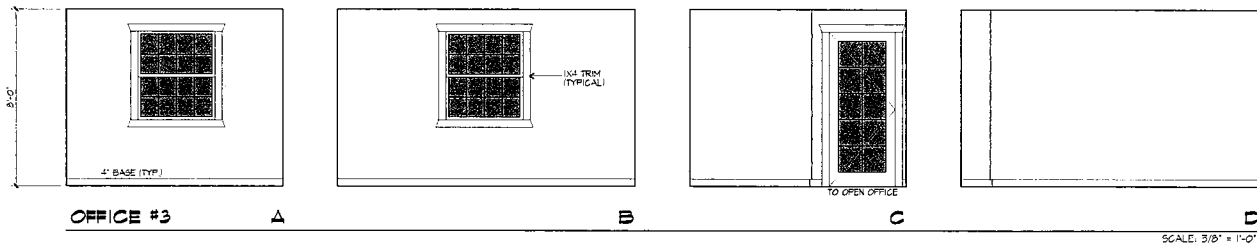
A6

OF 9

INTERIOR ELEVATIONS

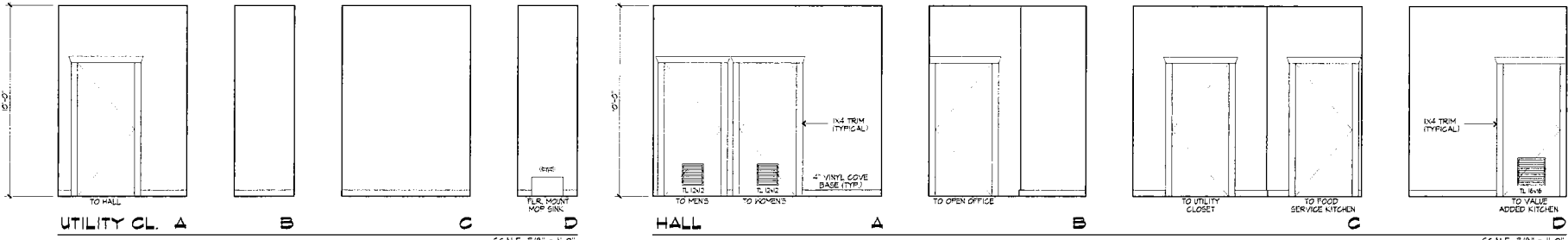
BY: REVISIONS:

△	
△	
△	



OFFICE #3 A B C D

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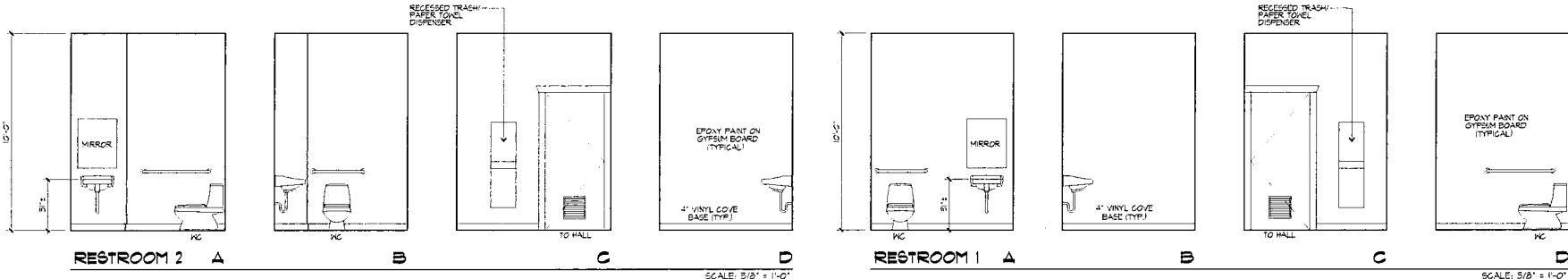


UTILITY CL. A B C D

SCALE: 3/8" = 1'-0"

HALL A B C D

SCALE: 3/8" = 1'-0"



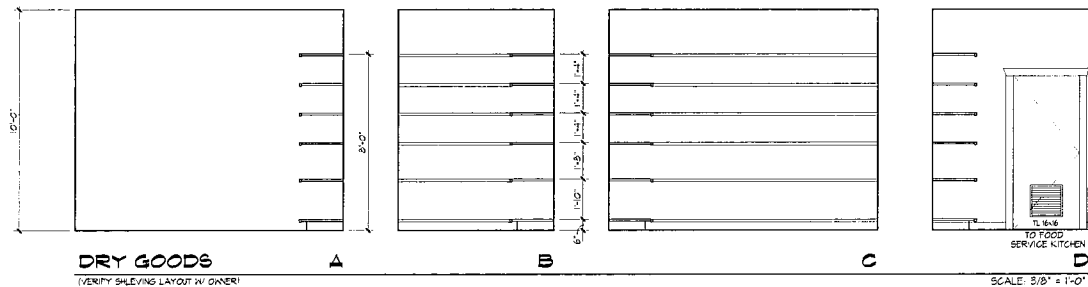
RESTROOM 2 A B C D

SCALE: 3/8" = 1'-0"

RESTROOM 1 A B C D

SCALE: 3/8" = 1'-0"

NOTE:
SEE A.D.A. COMPLIANCE
DETAILS FOR MOUNTING
HEIGHTS AND ADDITIONAL
INFORMATION SHEET #A9.



DRY GOODS A B C D

(VERIFY SHELVING LAYOUT W/ OWNER)

SCALE: 3/8" = 1'-0"

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 COMMUNITY KITCHEN BUILDING
 KEALAKUUA, HAWAII



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Signature: 4/20/23 4/2/23

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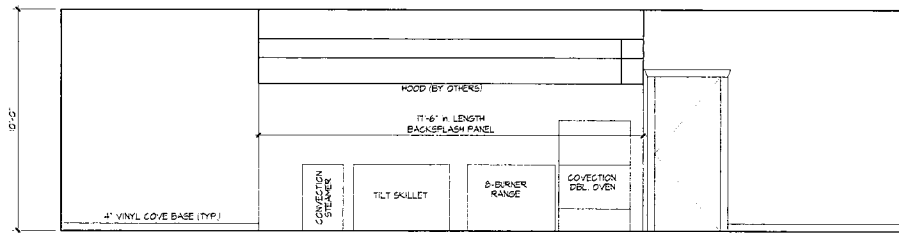
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www.WeigangMarvick.com

DATE: 8-30-2017

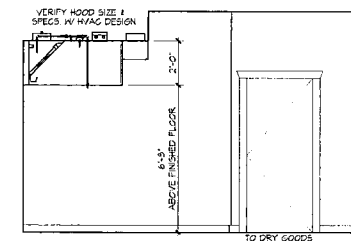
A7
OF
9

INTERIOR ELEVATIONS



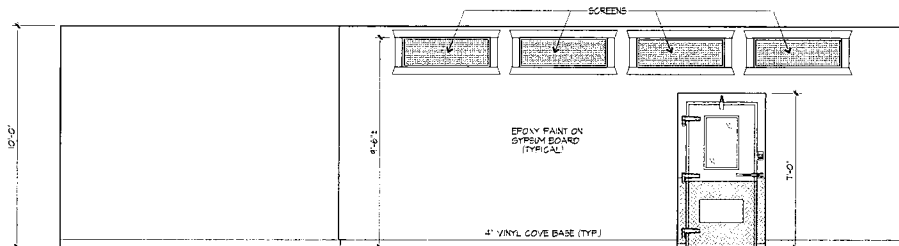
FOOD SERVICE KITCHEN

NOTE:
SEE "BARGREEN/ ELLINGSON" KITCHEN DESIGN PLANS FOR LAYOUT AND ELEVATIONS.

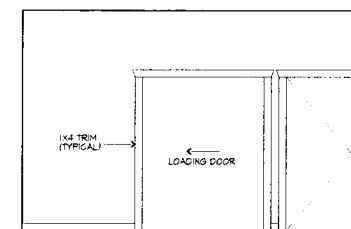


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SCALE: 3/8" = 1'-0"

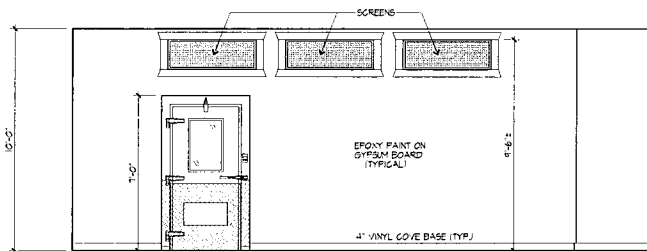


FOOD SERVICE KITCHEN

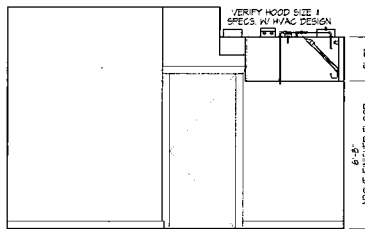


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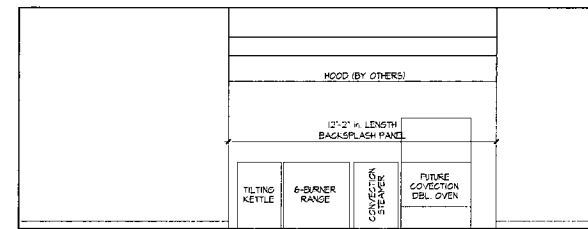
SCALE: 3/8" = 1'-0"



VALUE ADDED KITCHEN



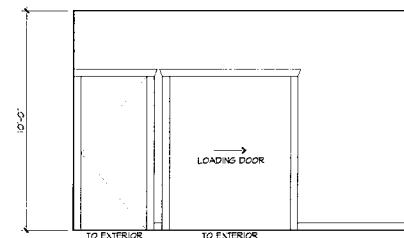
B



C

NOTE:
SEE "BARGREEN/ ELLINGSON" KITCHEN DESIGN PLANS FOR LAYOUT AND ELEVATIONS.

SCALE: 3/8" = 1'-0"



VALUE ADDED KITCHEN

D

SCALE: 3/8" = 1'-0"

BY: REVISIONS:

FRIENDS OF KPPCS
COMMUNITY KITCHEN BUILDING
KEALAKEKUA, HAWAII



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Signature: *Todd J. Marvick*
Date: 8/30/17

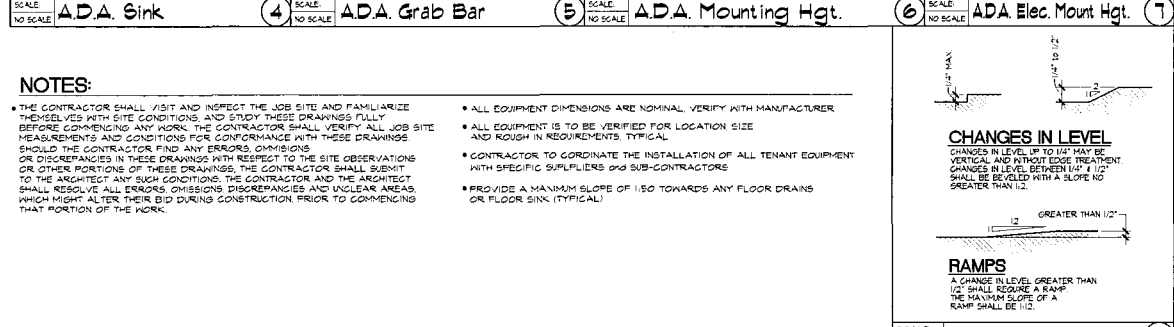
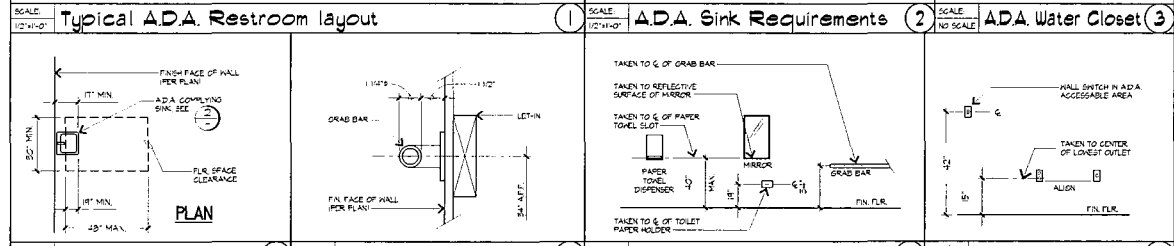
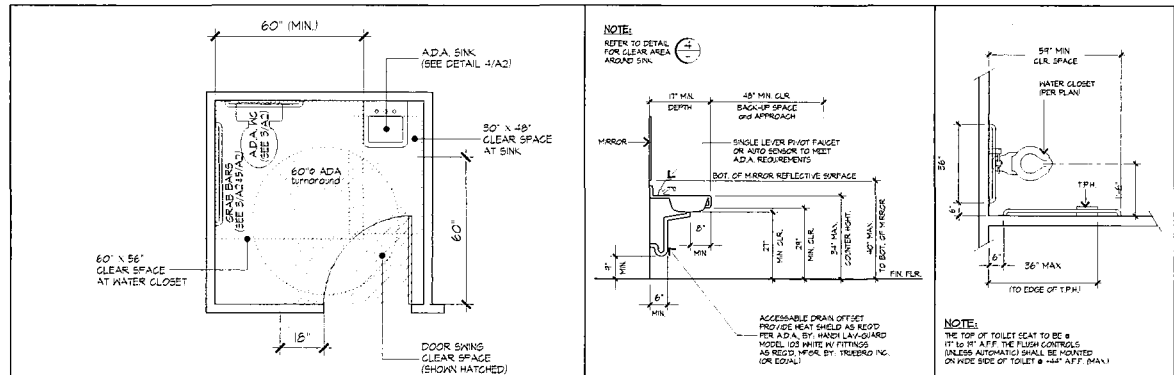
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DATE: 8-30-2017



INTERIOR ELEVATIONS



BY: REVISIONS:

FRIENDS OF KPPCS
 COMMUNITY KITCHEN BUILDING
 KEALAKEKUA, HAWAII



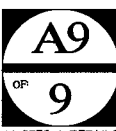
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Signature: _____ 4/2013
 E0144

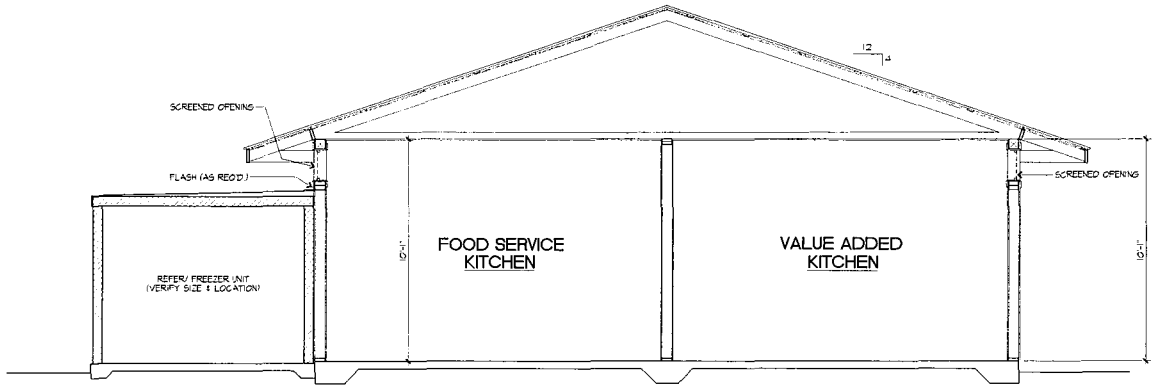
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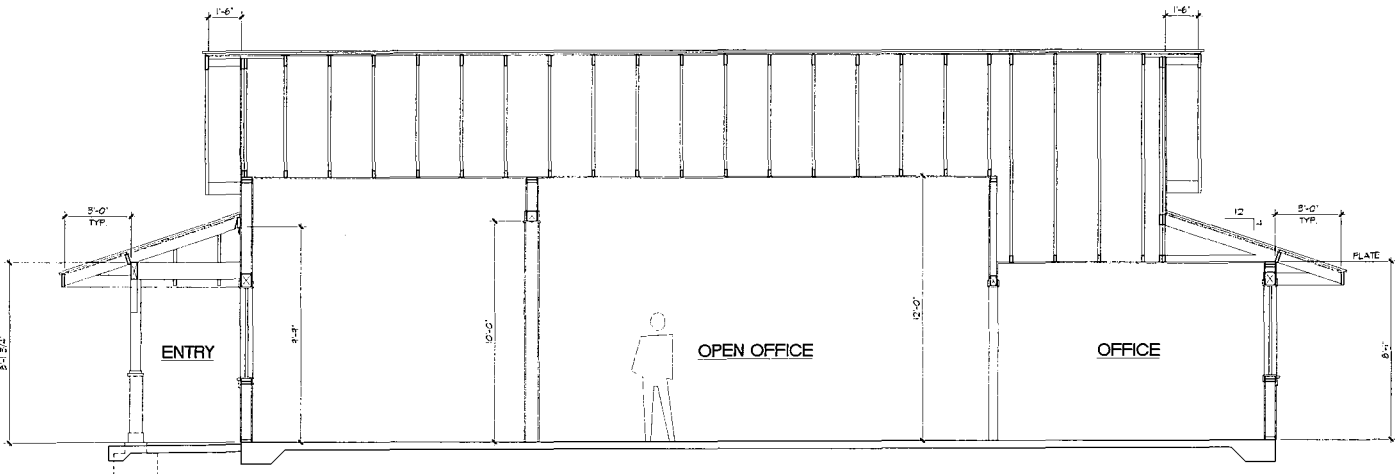
DATE: 8-30-2017



BY: REVISIONS:



C SECTION
SCALE: 3/8"=1'-0"



D SECTION
SCALE: 3/8"=1'-0"

TYPICAL CONCRETE SLAB:
4" THICK CONCRETE SLAB
REINFORCED BY #5 BARS @
18" O.C. IN F.L.T. 10% OVERLAP
11 1/2" CLR. FROM TOP OF SLAB
ON 6 MIL. VIBROEN VAPOR
BARRIER OR MIN. 1/4" THICK
5/8" MIN. COMPACTED BASE

EXTERIOR WALLS:
5/8" PLAIN FL. PLYWOOD
R/13 CEDAR BATT @ 16" O.C.
TYPICAL ON 2" X 4" STUDS @ 16" O.C. (V.N.D.)

INTERIOR WALLS & CEILING:
5/8" GYPSUM BOARD
SMOOTH (LEVEL 5) FINISH
ON 2" X 4" STUDS @ 16" O.C. (V.N.D.)

PRE-FAB TRUSSES:
2x6 TOP CHORD 2x4 BOTTOM
CHORD WEB and STRONGBACKS
20 GA. NAILING 1/2" ISCE TRUSS
MANUF. SPEC. and DRAWINGS

ROOF SHEATHING:
5/8" GY. PLY OR EQUAL
16x8 @ 4" O.C. EDGES @ 12" O.C. FIELD

FRIENDS OF KPCCS
 COMMUNITY KITCHEN BUILDING
 KEALAEKEUA, HAWAII



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION and I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF HAWAII.

Signature: _____ Date: 8/30/18

WEIGANG MARVICK & ASSOCIATES

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www.WeigangMarvick.com

DATE: 8-30-2017



FRIENDS OF KPPCS
COMMUNITY KITCHEN BUILDING
 KEALAKEKUA, HAWAII



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION.

DATE: 4/30/17
 SCALE: 1/4"=1'-0"

WEIGANG MARVICK & ASSOCIATES

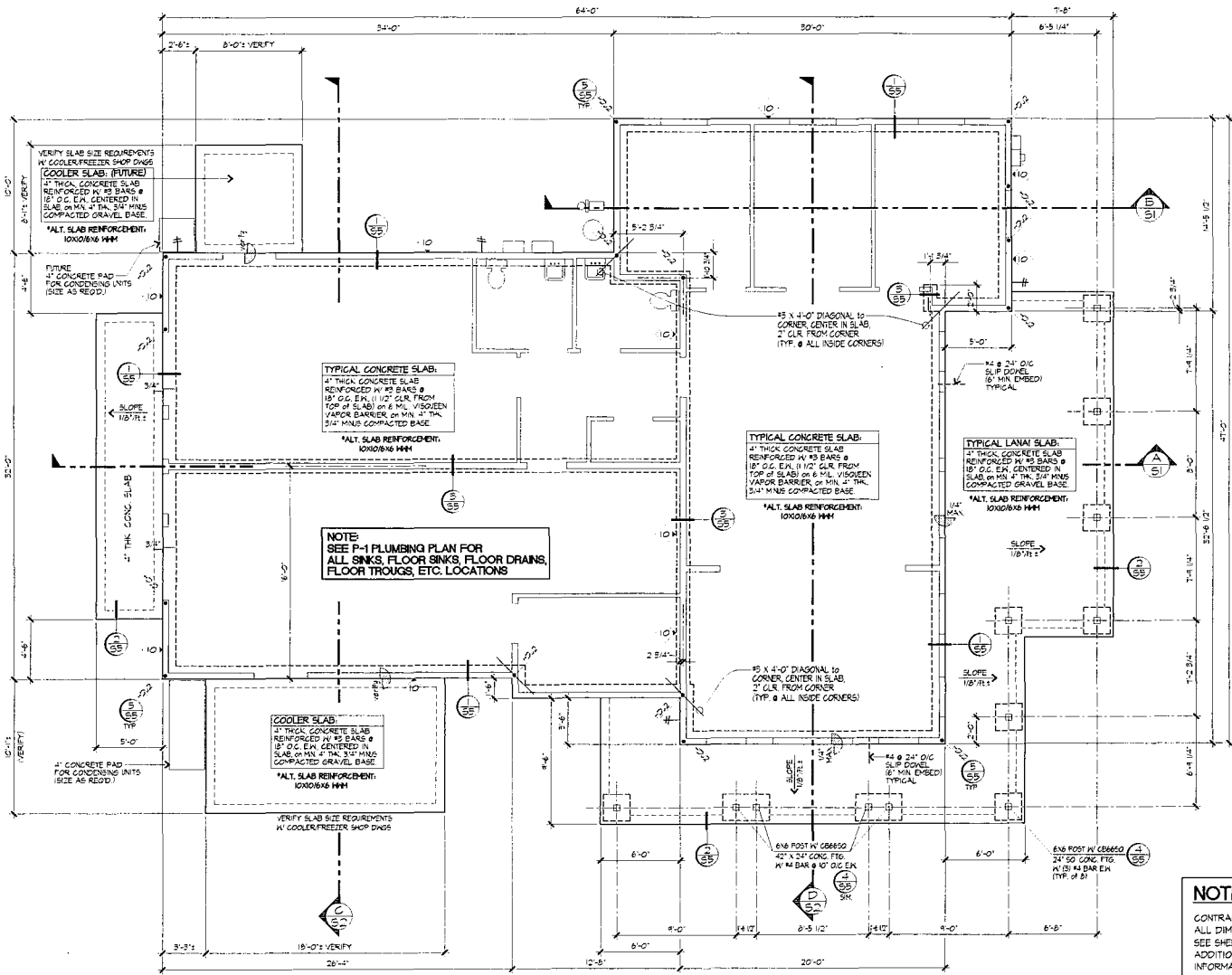
ARCHITECTS
 RESIDENTIAL-COMMERCIAL

75-221 HIALALAI ROAD
 KAILUA-KONA, HI 96740
 TELEPHONE: (808) 324-3755
 www.WeigangMarvick.com

DATE: 8-30-2017



FOUNDATION PLAN



FOUNDATION PLAN
 SCALE: 1/4"=1'-0"

NOTES:
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS W/ ARCH. PLANS. SEE SHEET A2 FOR ADDITIONAL DIMENSIONS and INFORMATION NOT SHOWN HERE.
 DENOTES SHEARNALL LOCATION, SEE SHEAR SCHEDULE SHEET S4 FOR HOLDDOWN INFO.
 VERIFY ALL SLAB DEPRESSIONS WITH FINISH MATERIALS and SCD ASSEMBLY SYSTEMS.

FRIENDS OF KPCCS
COMMUNITY KITCHEN BUILDING
WEALAEKUA, HAWAII



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DATE: 4/20/18

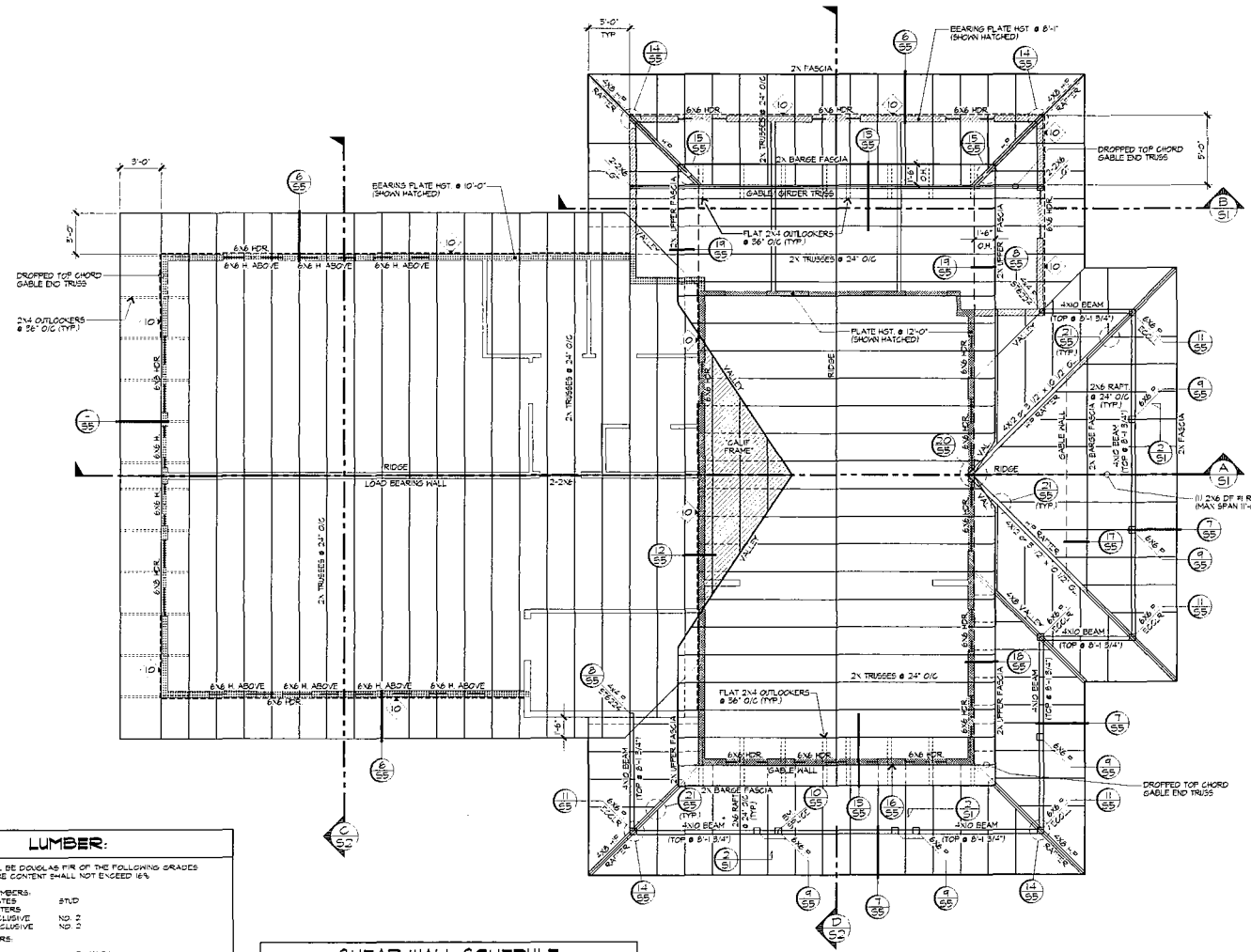
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ROOF FRAMING PLAN



ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

FRAMING NOTES:

- EXTERIOR SIDING: 5/8" PLAIN T&G PLYWOOD W/ 8d NAILS @ 6" O.C. EDGES & 12" O.C. FIELD (N/A FOR CERTAIN BAYS @ 18" O.C.)
- ROOF SHEATHING: 5/8" CDX PLYWOOD OR EQUAL (2x8 @ 6" O.C. EDGES & 12" O.C. FIELD (INSTALL PER MANUFACTURER SPEC))
- FLOOR SHEATHING: N/A
- SOFFIT JOISTS: 2x4 @ 24" O.C. MAX. SPAN 8'-0" / 2x6 @ 24" O.C. MAX. SPAN 14'-0" (SEE REFLECTED C.D. PLAN FOR HEIGHTS)
- HANDRAILS: ALL HANDRAILS & STAIRS TO BE SIMPSON STRONG-TIE OR EQUAL
- ALL WOOD FRAMED STRUCTURES ARE TO BE CONSTRUCTED PER SECTION 2105 OF THE INTERNATIONAL BUILDING CODE, 2009 IBC, UNLESS NOTED OTHERWISE
- ALL NAILING TO BE PER TABLE 2301.4(1) OF THE INTERNATIONAL BUILDING CODE, 2009 IBC, UNLESS NOTED OTHERWISE
- TOP PLATES OF ALL STUD WALLS SHALL BE (2) PIECES THE SAME SIZE AS STUDS SPICES TO LAY 90° MIN. USE 6-16d NAILS EA. SIDE. ALL BEAMS TO BE SUPPORTED WITH FULL BEAMING.
- STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC. UNLESS SPECIFICALLY DETAILED.
- PROVIDE STANDARD JOIST HANGERS AT ALL JOISTS TO FLUSH FRAMING, UNO.
- AT CALIFORNIA FRAMING USE 2x6 RAFTERS @ 24" O.C. MAX. SPAN 4'-0" POST @ 4'-0" MAX.
- PROVIDE 2x4 SOLID BLOCKING BETWEEN JOISTS, RAFTERS AND TRUSSES AT ALL SUPPORTS. BLOCKING SHALL BE ONE PIECE AND FULL DEPTH OF THE JOIST OR RAFTER.
- PROVIDE 2x4 SOLID BLOCKING AT END AND SUPPORTS OF RAFTERS GREATER THAN 8" IN DEPTH.
- PROVIDE CONTINUOUS 2x4 SOLID BLOCKING BETWEEN FLOOR JOISTS UNDER ALL BEARING WALLS.
- PROVIDE 2x4 SOLID BLOCKING AT 24" O.C. MAX. FOR ALL FLOOR JOISTS, ROOF JOISTS 2x4 AND GREATER. WALL 1x4 WITH (2) 8's PER STUD AND (1) 8's AT EACH END TO PLATE.
- PROVIDE EPOXY FLOOR JOISTS UNDER ALL PARALLEL NON-BEARING PARTITIONS.
- PROVIDE A HOLD-DOWN AT EACH END OF SHEAR WALLS AS INDICATED ON PLANS.
- ALL SHEAR WALL PLYWOOD SHALL EXTEND FROM BOTTOM OF SILL PLATE TO TOP PLATE OR ROOF PLATE LINE WHICHEVER IS GREATER.
- ALL SHEAR WALL DESIGNATIONS ARE FOR STRUCTURAL PURPOSES. IT SHALL BE THE FRAMER'S RESPONSIBILITY TO FURR OUT REMAINING WALLS TO ASSURE A SMOOTH FINISH.
- PROVIDE 1x4 LET-IN BRACING OR SIMPSON GIBBS (8 APPROX. 45 DEG) EVERY 16'-0" MAX. AT STUD WALLS NOT SHEATHED. WALL 1x4 WITH (2) 8's PER STUD AND (1) 8's AT EACH END TO PLATE.
- ALL JOISTS TO BE FASTENED WITH 16d NAILS @ 12" O.C. STAGGERED, UNO.
- ALL 2x4 OR MORE JOISTS AND (3) MICRO-CLAMS OR MORE TO BE FASTENED WITH (2) 1x4 THROUGHOUTS @ 24" O.C. STAGGERED 2" FROM TOP & BOTTOM UNO.
- TRUSS MANUFACTURER SHALL PROVIDE ALL TRUSS TO TRUSS CONNECTIONS FOR REVIEW BY DESIGN PROFESSIONALS.

NAILING SCHEDULE:

THIS NAILING IS TYPICAL UNLESS OTHERWISE NOTED OR DETAILED. TYPICAL NAILS SHALL BE 8d COMMON WIRE NAILS. SPECIFICALLY DETAILED CONNECTIONS SHALL BE COMMON WIRE NAILS.

- | | |
|--|------------------------------------|
| 1) JOIST OR RAFTERS TO SIDE OF STUDS 8" DEPTH (LESS) FOR EACH ADDITIONAL 4" IN DEPTH | 3-8d
1-16d |
| 2) JOISTS OR RAFTERS AT ALL BEARING TOE NAILS EACH SIDE | 3-8d |
| 3) STUDS TO BEARINGS TOE NAILS EACH SIDE | 2-8d |
| 4) BLOCKING BETWEEN JOISTS OR RAFTERS TO JOISTS OR RAFTERS TOE NAILS EA. END TO JOISTS OR RAFTER BEARINGS TOE NAILS EA. SIDE | 3-10d
5-10d |
| 5) BLOCKING BETWEEN STUDS EACH END TO NAILS | 2-10d
2-16d |
| 6) PROGRESSIVE BLOCKING - RAFTER TO BLOCK AND BLOCK TO JOINT NAILER | 2-10d |
| 7) MULTIPLE STUDS (STAGGER FOR STUDS WIDER THAN 4") | 6d AT 24" O.C. |
| 8) KISSON STUDS IN RIBBON 2x RIBBON | 2-8d
2-16d |
| 9) DOUBLE TOP PLATES LOWER PLATE TO TOP OF STUD (UPPER TO LOWER PLATE) (SHOULD HAVE 1x4 SIDE OF BUTT IN TOP PLATE) (UPPER TO LOWER PLATE AT INTERSECTIONS) | 2-16d
16d AT 18" O.C.
8d-16d |
| 10) CEILING STRIPS 1x4 PER BEARING (STRONGHOLD TYPE) 2x8 PER BEARING (STRONGHOLD TYPE) | 2-8d
2-16d |
| 11) PLYWOOD NAILING - SEE DETAILS AND/OR SCHEDULE | |
| 12) BUILT-UP BEAMS 208 AT 24" O.C. AT TOP AND BOTTOM STAGGERED | 2-20d AT TD |
| 13) 1x6 LET-IN BRACES EACH BEARING PRE-DRILL HOLES FOR NAILS | 2-8d |
| 14) ALL CONNECTING HARDWARE JOIST HANGERS, TIE STRAPS ETC. SHALL BE SIMPSON STRONG-TIE, UNLESS NOTED OTHERWISE OR SHOWN | |

LUMBER:

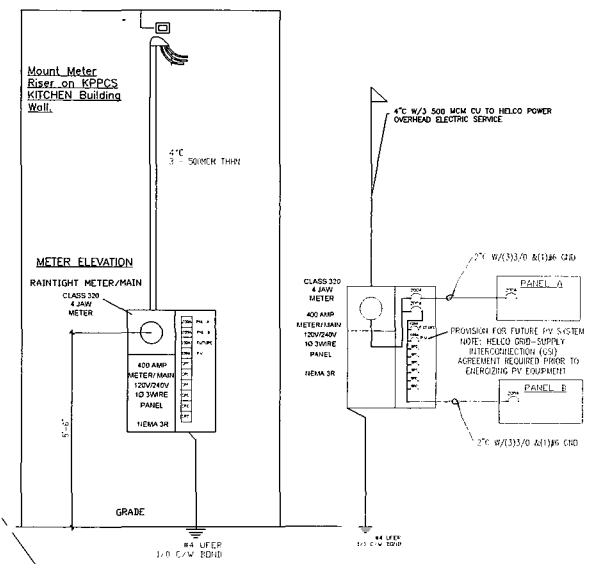
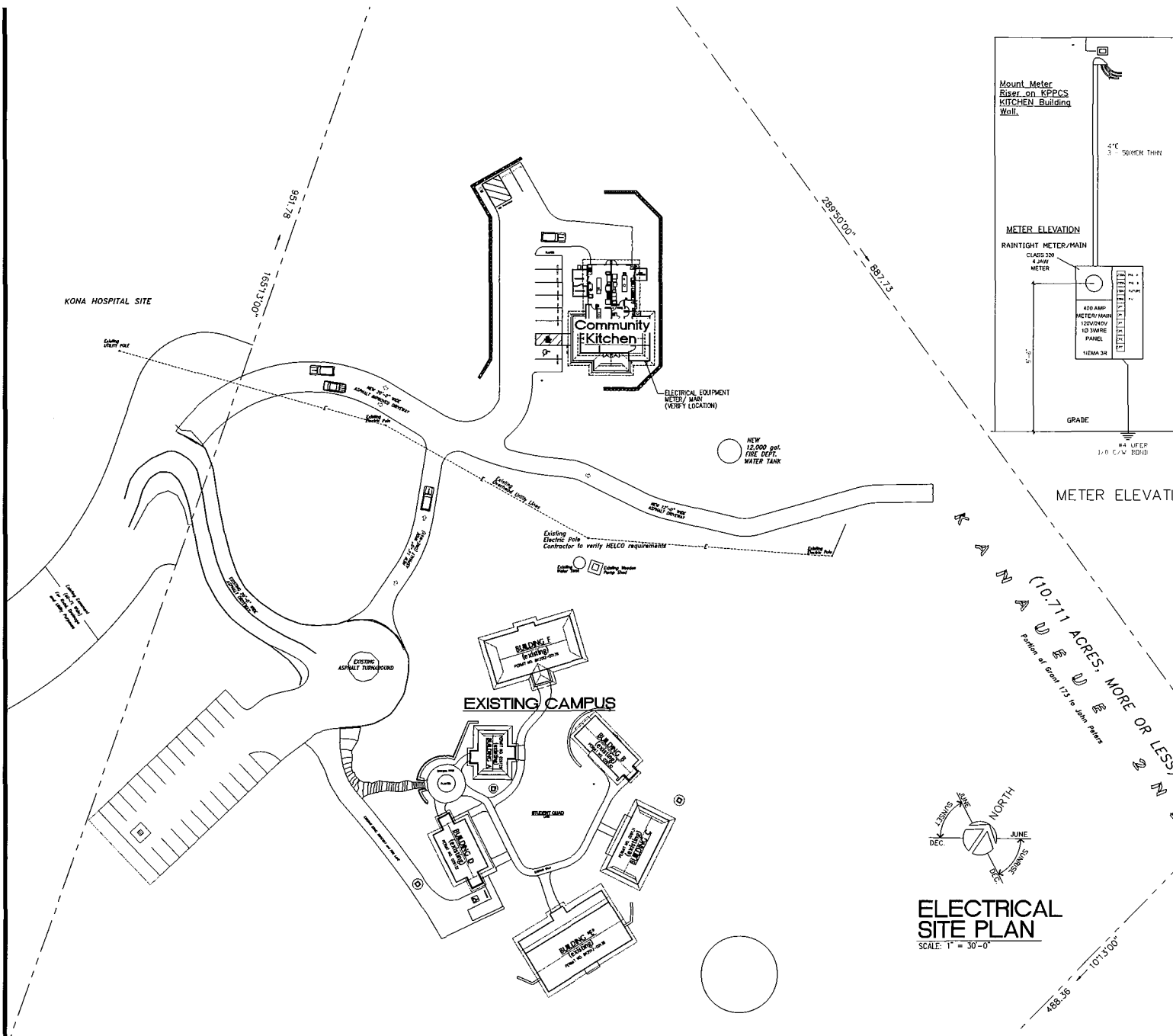
- ALL LUMBER SHALL BE DOUGLAS FIR OF THE FOLLOWING GRADES UNO. MAX. MOISTURE CONTENT SHALL NOT EXCEED 16%.
- REPETITIVE USE MEMBERS: STUDS AND PLATES JOIST AND RAFTERS 2x4 TO 2x4 INCLUSIVE 2x6 TO 2x6 INCLUSIVE
- SINGLE USE MEMBERS: BEAMS 4x 6x OR LARGER POST AND MULLIONS 4x4 AND SMALLER 4x6 AND LARGER
- MISCELLANEOUS LUMBER: BLOCKING, FURRING, ETC. PECKING AND CHEATING 2x 4x 4x
- CONSTRUCTION GRADE COMM. DEN.
- ALL STRUCTURAL LUMBER SHALL BE GRADED IN ACCORDANCE WITH GRADING AND DESIGNING RULES 116 OF THE WEST COAST LUMBERMAN'S ASSOCIATION.
- ALL WOOD SHALL BE DOUGLAS FIR, HICKOR, TREATED OR EQUAL.
- ALL STRUCTURAL PLYWOOD SHALL BE IN ACCORDANCE WITH P.S. 1-174.
- HOLES FOR BOLTS SHALL BE BORED 1/32" TO 1/16" LARGER.
- ALL BOLTS BEARING ON WOOD SHALL HAVE WASHERS UNDER HEAD AND/OR NOT SEE WASHER SCHEDULE.
- ALL BOLTS SHALL BE RE-TIGHTENED PRIOR TO APPLICATION OF PLASTER, FLYWOOD ETC.
- ATTACH 2x NAILER TO STRUCTURAL STEEL WITH 1/2" BOLTS AT 4x6" O.C. (UNLESS NOTED OTHERWISE) FOR ATTACHMENT OF FINISH NOTED AS SHOWN ON ARCHITECTURAL DRAWINGS.
- GLUED-LAMINATED WOOD BEAMS: DOUGLAS FIR COMB. 20F-144 (W10) 21F-175 (2x10) 20F-151 (2x12) 20F-151 (2x14) 20F-151 (2x16) 20F-151 (2x18) 20F-151 (2x20) 20F-151 (2x22) 20F-151 (2x24) 20F-151 (2x26) 20F-151 (2x28) 20F-151 (2x30) 20F-151 (2x32) 20F-151 (2x34) 20F-151 (2x36) 20F-151 (2x38) 20F-151 (2x40) 20F-151 (2x42) 20F-151 (2x44) 20F-151 (2x46) 20F-151 (2x48) 20F-151 (2x50) 20F-151 (2x52) 20F-151 (2x54) 20F-151 (2x56) 20F-151 (2x58) 20F-151 (2x60) 20F-151 (2x62) 20F-151 (2x64) 20F-151 (2x66) 20F-151 (2x68) 20F-151 (2x70) 20F-151 (2x72) 20F-151 (2x74) 20F-151 (2x76) 20F-151 (2x78) 20F-151 (2x80) 20F-151 (2x82) 20F-151 (2x84) 20F-151 (2x86) 20F-151 (2x88) 20F-151 (2x90) 20F-151 (2x92) 20F-151 (2x94) 20F-151 (2x96) 20F-151 (2x98) 20F-151 (2x100)
- INDUSTRIAL APPEARANCE WOOD WITH EXTERIOR GRADE UNO WITH STANDARD CAMBER UNO.

SHEAR WALL SCHEDULE

MATERIALS AND NAILING	2x4	2x6
1) 1/2" STRUCT. II PLYWOOD W/ 8d @ 6" O.C. EDGES & 12" O.C. FIELD (NOTE 1 & 11)	168d @ 24" O.C.	168d @ 24" O.C.
2) 1/2" STRUCT. II PLYWOOD W/ 8d @ 4" O.C. EDGES & 12" O.C. FIELD (NOTE 1 & 11)	168d @ 24" O.C.	168d @ 24" O.C.

NOTES:

- ALL EDGES OF PLYWOOD SHEAR WALLS MUST BE BLOCKED WITH 2x4 SOLID BLOCKING.
- WHERE PLYWOOD IS JOINED BOTH SIDES OF A WALL, NAIL SPACING IS LESS THAN 6" O.C. ON OTHER SIDE PLYWOOD SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS.
- ALL NAILS USED ARE COMMON NAIL.
- FRAMING AT JOINTING PANEL EDGES WHERE NAILS ARE SPACED 2" O.C. SHALL BE 2" NOMINAL OR HIKER OR 2x4. STUDS AND NAILS SHALL BE STAGGERED.
- FRAMING AT JOINTING PANEL EDGES WHERE 10d NAILS HAVING PENETRATION INTO FRAMING OF MORE THAN 1/8" AND ARE SPACED 2" O.C. OR LESS SHALL BE 2" NOMINAL OR HIKER OR 2x4. STUDS AND NAILS SHALL BE STAGGERED.
- 1" NOTICES THOSE WALLS WHICH SHEAR PANELS ARE APPLIED ON BOTH SIDES OF WALL.
- SHEAR WALLS TO BE CONTIGUOUS AT PERPENDICULAR WALLS OR TURNING WALLS. WHERE SHEAR WALL EXTENDS EITHER SIDE.
- USE CDX CG OR STD BAYO IN LIEU OF 2x4 PLYWOOD. ALL PLYWOOD SHALL BE DOUGLAS FIR.
- ALL CONTIGUOUS EXTERIOR FOOTINGS TO HAVE 2x8 @ 10' A.B.S @ 48" O.C. UNO. ON PLANS.
- ALL BEARING NON-SHEAR WALLS AND NON-BEARING 1185 TO HAVE 152" SPOT PINS @ 4' O.C. 1" DIA. RESPECTIVELY.
- WHEN ANCHORS ARE EXISTING FOR USE AS ANCHORS, READ PERIODIC ANCHORS OR BLOCK ANCHORS OF THE SAME DIAMETER AND SPACING AS CALLED FOR IN THE SCHEDULE ABOVE (ITEM 1185-1425).



METER ELEVATION ONE LINE DIAGRAM

SERVICE DATA	
1. VOLTAGE: SINGLE PHASE, 120/240V. THREE WIRE.	
2. LOAD DATA: CONNECTED KVA	DEMAND KVA
	85.2
3. SE CONDUCTORS: 2-500 KCMIL CU, 1-500 KCMIL N	
4. METERING: HELCO STD.; B-12B RATE: G	
5. TYPE: OVERHEAD	
6. BILLING ADDRESS:	
FRIENDS OF KONA PACIFIC PUBLIC CHARTER SCHOOL	
P.O. BOX 115	
KEALAKEKUA, HI 96750	
TMK: (3)-7-9-010-001	

BY:	REVISIONS:

FRIENDS OF KPPCS
COMMUNITY KITCHEN BUILDING
KEALAKEKUA, HAWAII



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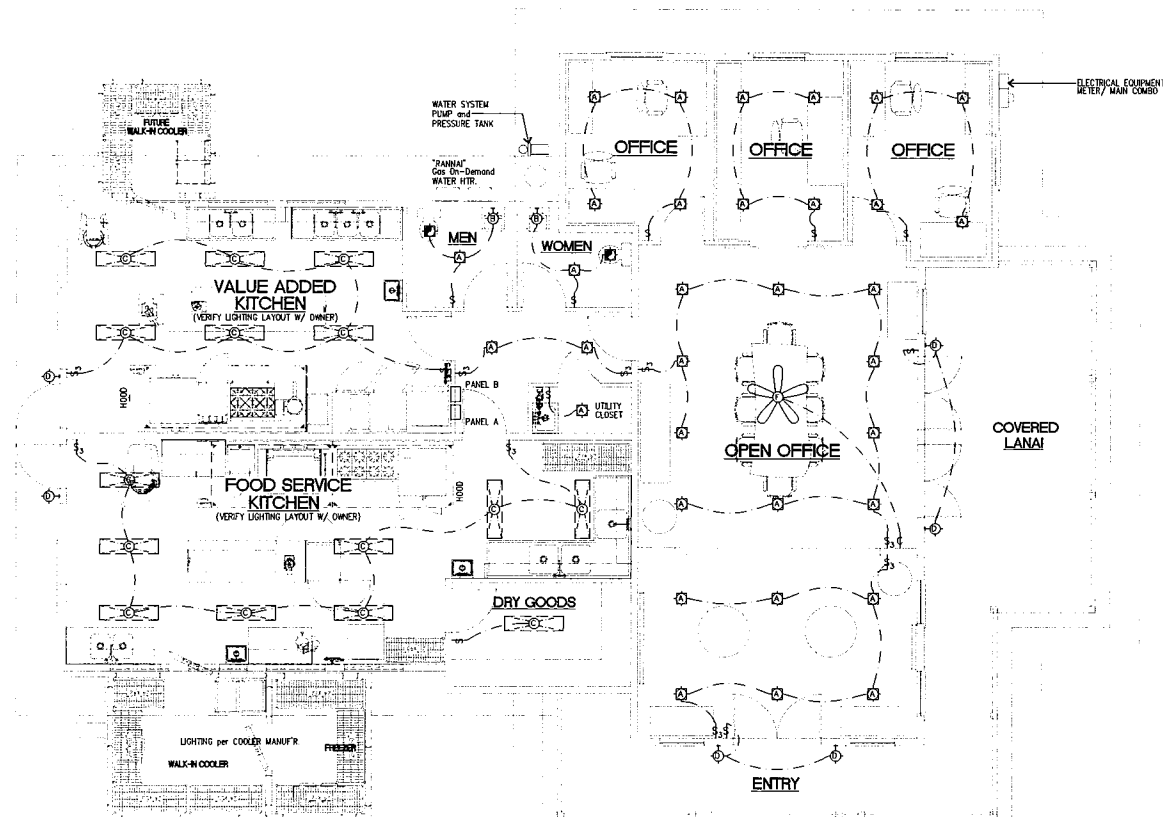
ELECTRICAL SITE PLAN

ELECTRICAL SITE PLAN
SCALE: 1" = 30'-0"

PROJECT DATA	
Friends of Kona Pacific Public Charter School	
TMK: (3)-7-9-010-001	
Front and Rear Balbecks	20/7
Side Balbecks	20/7
Jurisdiction:	Hawaii County, Hawaii
BUILDING AREA CALCULATIONS	
GRND	1,073 SF
STORY/RESPOND	1,527 SF
CONDN'D ENTRY/LOBBY	1,907 SF
TOTAL BUILDING AREA	2,820 SF

PART A		120V/240V 10 3Wire Neutral Bus / Ground Bus										NEC/ASIS 2017				
DESCRIPTION		AFCI		GFI		SFI		SFI		SFI		SFI				
QTY	DESCRIPTION	A	P	N	N	P	A	P	N	N	P	A	P			
12	W/P PLUGS	AFCI	20	1							1	20	AFCI	PLUGS	12	
12	BATH PLUGS	AFCI	20	1									AFCI			
12	SMOKE DETECTORS	AFCI	15	1									AFCI			
12	LIGHTS	AFCI	20	1							1	20	AFCI	WATER HEATER	12	
		AFCI											AFCI	REFRIGERATOR		
		AFCI											AFCI	FIRE SUPPRESSION		
		AFCI											AFCI	LIGHTS	12	
		AFCI											AFCI			
10	40 QT MIXER		30	2							1	20		OVEN	12	
10											1	20		FREEZER	12	
12	FOOD PROCESSOR		20	1							2	20		ICE MACHINE	12	
12	FOOD PROCESSOR		30	2												
12	TYPE 1 HOOD		20	2							2	30		DISH WASHER	8	
12	EXHAUST FAN		20	2							1	20		CONVENTION OVEN #2	12	
8	TILTING PLETTE		50	2							1			SLICEP		
12	STEAMER		20	1										SPARE		

PART B		120V/240V 10 3Wire Neutral Bus / Ground Bus										NEC/ASIS 2017			
DESCRIPTION		AFCI		GFI		SFI		SFI		SFI		SFI			
QTY	DESCRIPTION	A	P	N	N	P	A	P	N	N	P	A	P		
12	W/P PLUGS	AFCI	20	1							1	20	AFCI	PLUGS	12
12	BATH PLUGS	AFCI	20	1									AFCI		
12	SMOKE DETECTORS	AFCI	15	1									AFCI		
6	STEAMER		60	2									AFCI		
													AFCI		
12	TYPE 1 HOOD		20	2							1	20		FIRE SUPPRESSION	
12	CONTROL PANEL		20	1							1	20		BATHROOM VENTILATION	12
12	EXHAUST FAN		20	1							1	20		FOOD PROCESSOR	12
														HEATED CABINET	10
10	40 QT MIXER		30	2							2	20		WALK-IN FREEZER/ EVAP	12
10	WALK-IN COOLER COMPRESSOR		30	2							1	30		WATER PUMP	10
10	WALK-IN COOLER COMPRESSOR		30	2							2	30		FUTURE COOLING UNIT	10
12	WALK-IN COOLER EVAP		20	2							1			SPARE	
10	WALK-IN FREEZER COMPRESSOR		30	2							1	30			
	SPARE														



SYM	DESCRIPTION	SYM	DESCRIPTION
⊕	DUPLEX OUTLET @ 412" U.N.O.	⊙	RECESSED FIXTURE
⊕	1/2 SWITCHED DUPLEX OUTLET	⊙	RECESSED FIXTURE (DIRECTABLE EYE)
⊕	DUPLEX WITH G.F.I.	⊙	SURFACE MOUNT FIXTURE
⊕	WATERPROOF DUPLEX	⊕	WALL MOUNT FIXTURE
⊕	220 VOLT OUTLET	⊕	EXHAUST FAN/LIGHT COMBO
⊕	DUPLEX OUTLET (UNDER COUNTER)	⊕	EXHAUST FAN (MIN. 5 AIR CHANGES PER HR.)
⊕	CATV	⊕	FLOOD LIGHT
⊕	PHONE	⊕	EMERGENCY LIGHT
⊕	DATA - CAT 6	⊕	TRACK LIGHTS
⊕	FLOOR DUPLEX	⊕	LED STRIP CEILING MOUNT
⊕	CEILING/SOFFIT DUPLEX	⊕	CEILING FAN
⊕	SWITCH @ 442" U.N.O.	⊕	CHIMES/OD OPEN'R-PUSH BUTON
⊕	3-WAY SWITCH	⊕	SMOKE DETECTOR
⊕	4-WAY SWITCH	⊕	INTERCOM
⊕	DIMMER SWITCH	⊕	CHIMES
⊕	3-WAY DIMMER SWITCH	⊕	ELECTRIC EYE
⊕	FAN CONTROL SWITCH	⊕	GARBAGE DISPOSAL/MOTOR
⊕	TIMED SWITCH	⊕	TIME CLOCK
⊕	JUNCTION BOX	⊕	THERMOSTAT

TYPE	DESCRIPTION	QTY	UNIT WATTAGE	TOTAL WATTAGE
A	HALO HHT W/ 40IP - PLF 26W	32	26	832
B	WALL BRACKET W/ 30W FLUORESCENT (ALLOW \$75 EACH)	2	30	60
C	1'x4' SURFACE MOUNT - LED WORK LIGHT (ALLOW \$140 EACH)	15	45	675
D	EXTERIOR DOWN LIGHT - DUSK TO DAWN (ALLOW \$60 EACH)	6	26	156
TOTAL				1723

LIGHTING PLAN
SCALE: 1/4"=1'-0"

BY	REVISIONS

FRIENDS OF KPPCS
COMMUNITY KITCHEN BUILDING
KEALAKEKUA, HAWAII



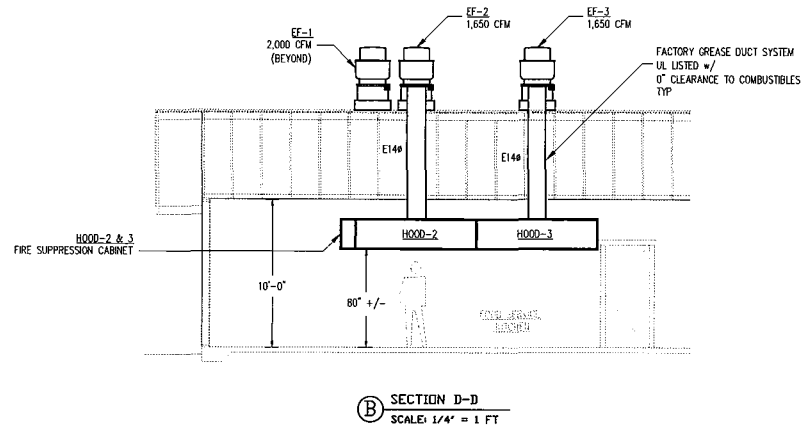
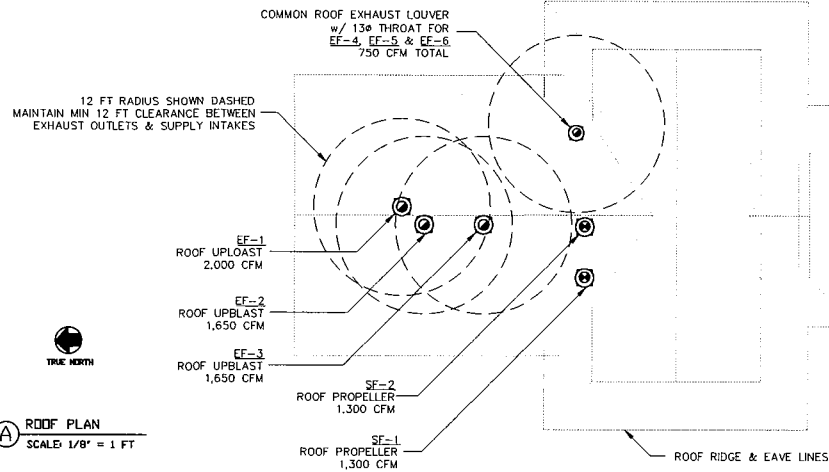
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Signature: _____ Date: _____

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TELEPHONE (808) 329-3755
www.WeigangMarvic.com

DATE: 8-21-2017





HVAC EQUIPMENT SCHEDULE

TAG ID	DESCRIPTION	CAPACITY	ELECTRICAL	COMMENTS
HOOD-1	TYPE 1 1/2 FT WALL CANOPY EXHAUST ONLY w/ SS GREASE FILTERS & RIGHT END FIRE CABINET CAPTIVEAIRE # 5424ND-2	450 F COOKING w/ MINIMUM 150 CFM/FT	115/60/1 100 W	134" L x 54" D x 24" H PLUS 12" RIGHT END FIRE CABINET 3" REAR STAND OFF, SS MITLERS, LED LIGHTS & BACK SPLASH 516 LB UL710 & NFPA 96 COMPLIANT
ES-1	KITCHEN HOOD FIRE SUPPRESSION SYSTEM IN WALL HOOD UTILITY CABINET INCLUDING DETECTION SYSTEM, TANKS, RELEASE MECHANISM, LPG AUTO VALVE AND PULL STATION		ANSUL R-102 WET CHEMICAL SYSTEM UL 300 LISTED IN ACCORDANCE w/ NFPA 17, 17A AND 96 DESIGNED AND INSTALLED BY AUTHORIZED ANSUL DISTRIBUTOR PROVIDE LPG AUTO SHUTOFF VALVE TO PLUMBING CONTRACTOR FOR INSTALLATION	
EF-1	DIRECT DRIVE UPBLAST CENTRIFUGAL ROOF EXHAUST FAN CAPTIVEAIRE # DUBSHFA	2,000 CFM @ 1.0" ESP 1,417 RPM & 0.54 BHP	208V 1P 60 HZ 3/4 HP	32" @ 132 LB NFPA 96 COMPLIANT & ETL UL705 & UL762 LISTED w/ GREASE COLLECTION BOX, VENTED ROOF CURB, HINGED SUB-BASE, ECM SPEED CONTROL WIRING
HOOD-2 HOOD-3	TYPE 1 8"-3" LONG WALL CANOPY EXHAUST ONLY w/ SS GREASE FILTERS & RIGHT END FIRE CABINET CAPTIVEAIRE # 5424ND-2	450 F COOKING w/ MINIMUM 150 CFM/FT	115/60/1 100 W	134" L x 54" D x 24" H PLUS 12" RIGHT END FIRE CABINET 3" REAR STAND OFF, SS MITLERS, LED LIGHTS & BACK SPLASH 516 LB UL710 & NFPA 96 COMPLIANT
ES-2/3	KITCHEN HOOD FIRE SUPPRESSION SYSTEM IN WALL HOOD UTILITY CABINET INCLUDING DETECTION SYSTEM, TANKS, RELEASE MECHANISM, LPG AUTO VALVE AND PULL STATION		ANSUL R-102 WET CHEMICAL SYSTEM UL 300 LISTED IN ACCORDANCE w/ NFPA 17, 17A AND 96 DESIGNED AND INSTALLED BY AUTHORIZED ANSUL DISTRIBUTOR PROVIDE LPG AUTO SHUTOFF VALVE TO PLUMBING CONTRACTOR FOR INSTALLATION	
EF-2 EF-3	DIRECT DRIVE UPBLAST CENTRIFUGAL ROOF EXHAUST FAN CAPTIVEAIRE # DUBSHFA	1,650 CFM @ 1.0" ESP 1,301 RPM & 0.42 BHP	208V 1P 60 HZ 3/4 HP	32" @ 132 LB NFPA 96 COMPLIANT & ETL UL705 & UL762 LISTED w/ GREASE COLLECTION BOX, VENTED ROOF CURB, HINGED SUB-BASE, ECM SPEED CONTROL WIRING
EF-4 EF-5	CEILING EXHAUST FAN PANASONIC# FV-40VQ3	325 CFM @ 0.4" ESP 900 RPM	120V-1-60 110 W	18" SO x 10" H 6" Ø PORT w/ INTEGRAL BACK DRAFT DAMPER CONTROL w/ RM OCCUPANCY SENSOR w/ ADJUSTABLE TIMER
EF-6	CEILING EXHAUST FAN PANASONIC# FV-20VQ3	100 CFM @ 0.4" ESP 900 RPM	120V-1-60 42 W	15" SO x 10" H 6" Ø PORT w/ INTEGRAL BACK DRAFT DAMPER CONTROL w/ ON/OFF WALL SWITCH
SF-1 SF-2	ROOF AXIAL PROPELLER SUPPLY VENTILATOR PENN BARRY DOME AXIAL # DAS18	1,300 CFM @ .5" ESP 1,100 RPM	120V-1-60 1/3 HP	33" Ø x 14" H 20" SO ROUGH OPENING 67 LBS

MECHANICAL GENERAL NOTES & REQUIREMENTS:

1. Ductwork, piping, hardware and equipment indicated on plans is diagrammatical in nature and therefore does NOT show the exact run, offsets, bends and details. Contractor shall coordinate the detail pipe run, duct run and detail equipment arrangement taking into account all site conditions, site utilities, all other trades and agencies prior to installation. Contractor shall adjust details as necessary to conform to project documents. Contractor shall notify Architect of discrepancies between project documents and field conditions prior to commencement of work.
2. Contractor shall visit and examine the site and review all available project documents prior to submission of proposal. Submission of proposal indicates that the Contractor is familiar with all project requirements and restrictions.
3. Contractor shall furnish and install (provide) all necessary equipment, materials and labor for a complete and functioning system whether specified or implied in accordance with project documents, all applicable codes, all manufacturer's requirements and all requirements of Authorities Having Jurisdiction (AHJ).
4. Prior to purchase and installation, Contractor shall provide itemized submittals in PDF for all specified equipment, hardware and accessories. Substitutions of equal or better quality and function may be allowed with written approval from Architect.
5. Contractor shall provide all necessary permits, pass all necessary inspections and pay all necessary fees required from AHJ for a complete and functioning system.
6. Contractor shall install all equipment, hardware and accessories in strict compliance with manufacturer's written instructions, guidelines and listings. Contractor shall notify Architect of discrepancies between manufacturer's written documents and project documents prior to purchase and installation.
7. Contractor shall locate all equipment and hardware requiring maintenance and/or periodic service in accessible locations with necessary access clearance and/or doors and panels. Access shall meet all manufacturer's requirements.
8. Contractor shall provide all necessary flashing to maintain the integrity of the building envelope. Contractor shall submit roof and exterior wall flashing details to Architect for approval prior to commencement of work.
9. Contractor shall provide all necessary seismic isolation, bracing and support in accordance with seismic zone 4 requirements and all applicable codes. Contractor shall submit equipment seismic support details to Architect for approval prior to commencement of work.
10. Contractor shall make all necessary penetrations thru structural members. Contractor shall coordinate with Architect exact location and details of all structural penetrations and submit penetration details for review and approval prior to commencement of work.
11. At all times, Contractor shall be responsible for the safekeeping of Contractor's property at the project site. Owner assumes NO responsibility for protection of property against fire, theft or environmental conditions.
12. At all times, Contractor shall maintain a clean and safe job site. Contractor shall remove from premises daily all dirt and debris caused by the performance of the work.
13. At all times, Contractor shall meet or exceed SMACNA IAG Guidelines for Occupied Buildings Under Construction, CH 3 (2007) including but not limited to HVAC projection, source control, pathway interruption, housekeeping, scheduling and occupied relocation.
14. Upon completion of work, Contractor shall provide Architect with a complete set of clearly legible as-built documents in PDF. As-built documents shall include but not be limited to as-built marked up plans showing all deviations from project plans, all manufacturer's operations manuals, service manuals, maintenance schedules.
15. Prior to completion of work, Contractor shall test, adjust and balance all HVAC systems in accordance with National Environmental Balancing Bureau (NEBB) standards and procedures to within +/- 10% of the indicated flow rate. Contractor shall allow Architect to observe the final balancing and testing providing a minimum 1 week advance notice.
16. Upon completion of work, Contractor shall provide Architect with itemized warranty showing manufacturer and model/ part number indicating all options and accessories for all purchased and provided equipment, hardware and controllers.
17. Upon completion of work, Contractor shall provide a written guarantee to promptly replace or repair of Contractors expense any defect in workmanship, hardware or equipment observed within one year from the date of occupancy or agreed date of completion of work.

HVAC HARDWARE SPECIFICATIONS AND REQUIREMENTS:

1. All duct dimensions shown are inside-to-inside measurements.
2. All duct systems shall be low-pressure duct work installed in accordance with SMACNA "Low Pressure Duct Construction Standards" for fabrication and installation of low-pressure ductwork.
3. All ductwork shall be supported in accordance with SMACNA "Low Pressure Duct Standards- 5th Edition" hangers and support sections per Seismic Zone 4 requirements.
4. All non-conditioned, non-grease duct systems (exhaust and supply) shall be fabricated from 26 gauge G-90 galvanized steel duct and fittings.
5. All non-conditioned, non-grease ducts and fittings shall be sealed with a water based duct adhesive rated for indoor and outdoor use; DESIGN POLYMERIC DP-1010 or approved equal.
6. All round duct elbows shall have a minimum centerline radius equal to 1-1/2 x the duct diameter.
7. All exhaust ducts shall terminate a minimum of 3 ft from all operable windows and a minimum of 12 ft from all outside air intakes.
11. All ceiling supply diffusers shall be lowered, flush-face, aluminum diffusers w/ round neck; KRUEGER 55HR series or approved equal, sized as indicated.
13. All round volume dampers shall be galvanized steel RUSKIN CD802 series or approved equal, sized as indicated.
14. All rectangular volume dampers shall be aluminum manual control dampers, RUSKIN # CD51 series, or approved equal, sized to match duct.

KITCHEN HOOD SYSTEM SPECIFICATIONS AND REQUIREMENTS:

1. All work shall conform to NFPA 96 Standards, UL 300 Listings, County of Hawaii Building Codes, State of Hawaii Health Department and the Hawaii County Fire Department requirements.
2. Contractor shall be responsible for arranging and passing a Hawaii County Fire Department Inspection prior to concealing any hood or duct system.
3. Contractor shall be responsible for arranging and passing a Hawaii County Fire Department Final Inspection prior to commercial operation.
4. The Kitchen Exhaust Hood and Filter System shall be full wall canopy exhaust hood only. The Hood & Filter System shall be UL Listed built in accordance with NFPA 96 and bear the National Sanitation Foundation (NSF) seal of approval. The Hood shall be fabricated from SS. The Filter System shall be fabricated from aluminum.
5. The Hood Exhaust Fan System shall be up-blast forward curve centrifugal type. The Exhaust Fan shall be UL 782 Listed. The disconnect switch shall be factory installed and wired. Exhaust Fan System shall include a grease collection box, vented roof curb and hinged sub base constructed and installed per NFPA 96.
6. The Hood Fire Suppression System shall conform to UL 300 listing for wet chemical systems constructed and installed in accordance with NFPA 96.
7. The Grease Duct System shall be double wall factory built ETL Listed to UL Standard 1978 and UL Standard 2221-Grease Duct Enclosure Systems. Install Grease Duct System in accordance with UL Listing and NFPA 96. Provide duct clean out port at each change of direction.
8. Support hood system, duct system and exhaust fan system in accordance with Seismic Zone 4 requirements. Coordinate bracing, supports and roof penetrations with Architect and General Contractor.
9. Contractor shall maintain a minimum 12 ft separation between intake or air inlet and all exhaust outlets.
10. Contractor shall balance and adjust flow rates to +/- 10% of indicated flow rates. Contractor shall notify engineer of any discrepancies prior to project completion.



THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF HAWAII. I AM NOT PROVIDING ANY DESIGN SERVICES. THE WRITING APPROVAL OF THIS DOCUMENT IS NOT VALID.

1/20/2018
10:00 AM
BY: [Signature]

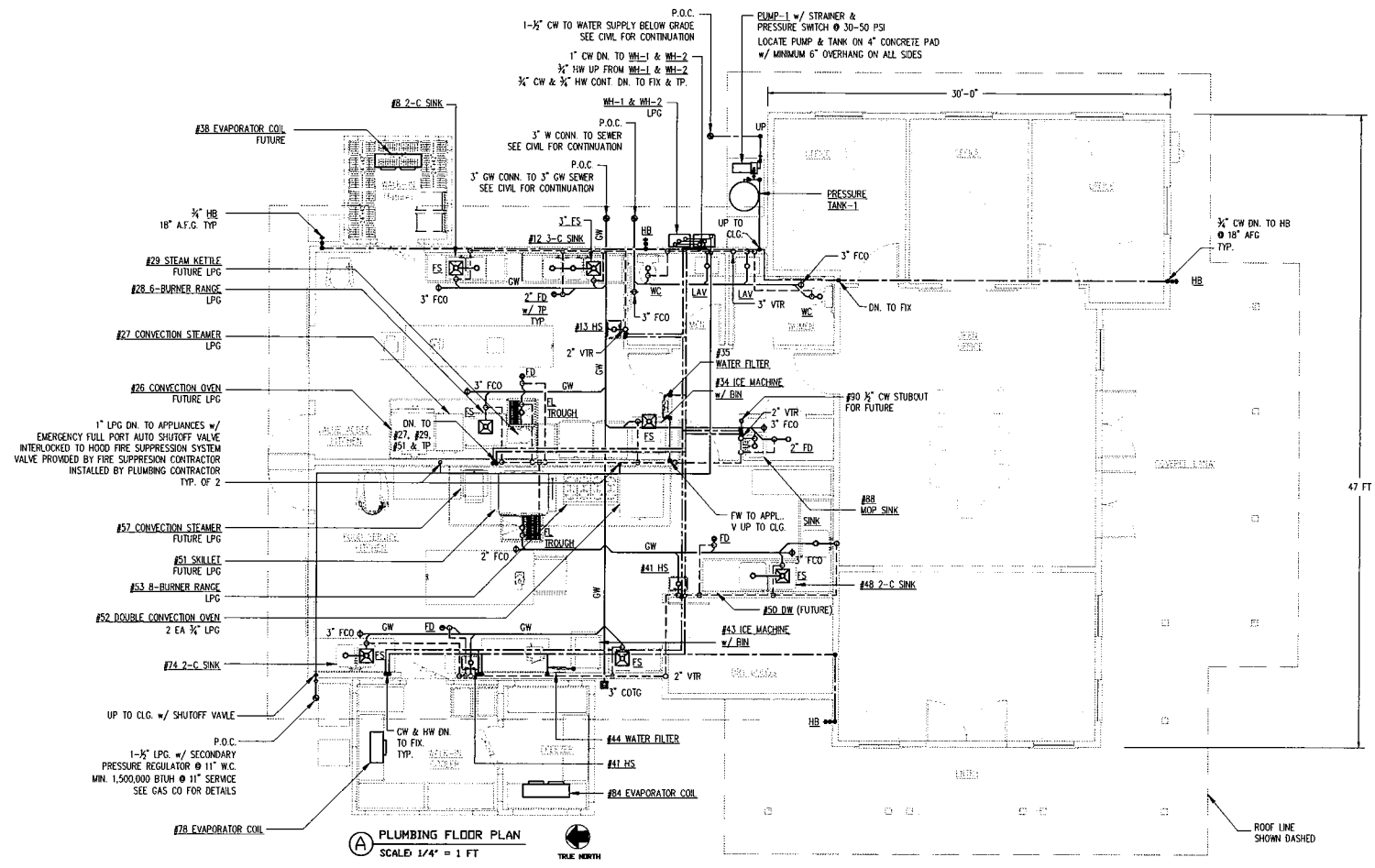
HAKALAU ENGINEERING, LLC
PO BOX 252 HAKALAU, HI 96710
CCcavedoni@HakalauEngineering.com
(808) 461-6292

FRIENDS OF KPPCS
COMMUNITY KITCHEN BLDG
KEALAKEUA, HAWAII
TEL: 735 170 0100

REVISIONS	BY

08/14/17

M-2



HAWAII COUNTY CODE - CHAPTER 5 - BUILDING
 2006 IECC & ORDINANCES 09-48 & 10-68
 BUILDING ENERGY EFFICIENCY STANDARDS

I CERTIFY THAT THE DESIGN IS IN CONFORMANCE WITH THE BUILDING ENERGY EFFICIENCY STANDARDS PERTAINING TO:
 - SECTION 503 BUILDING MECHANICAL SYSTEMS
 - SECTION 504 SERVICE WATER HEATING (MANDATORY)

NAME: CHARLES P. CAVONON
 SIGNATURE: _____
 TITLE: MECHANICAL ENGINEER
 PE: 9507-H



THIS WORK WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF HAWAII. ANY CHANGE REQUIRES THE WRITTEN APPROVAL OF THE SEAL HOLDER.

- PLUMBING NOMENCLATURE**
- S OR W SANITARY/WASTE PIPING
 - V SANITARY VENT PIPING
 - GAS GAS
 - CW COLD WATER PIPING
 - HW HOT WATER PIPING
 - FW FILTED WATER PIPING
 - HWR HOT WATER RETURN PIPING
 - CV CHECK VALVE
 - GV GATE VALVE
 - BV BALL VALVE
 - HB HOSE BIB
 - PRV PRESSURE REGULATOR VALVE
 - WHA WATER HAMMER ARRESTER
 - STR STRAINER
 - VB VACUUM BREAKER
 - T & P V TEMP. & PRESSURE RELIEF VALVE
 - WCO WALL CLEANOUT
 - FCO FLOOR CLEANOUT
 - COTG CLEANOUT TO GRADE
 - FS FLOOR SINK
 - FD FLOOR DRAIN
 - FNHL D FUNNEL DRAIN

- PLUMBING LEGEND**
- AFG ABOVE FINISH GRADE
 - APPL APPLIANCE
 - C COMPARTMENT
 - CA COMPRESSED AIR
 - CD CONDENSATE
 - CLG CEILING
 - COMPT. COMPARTMENT
 - CONN. CONNECT
 - CONT. CONTINUE
 - CO COMPANY
 - DN. DOWN
 - DW DISH WASHER
 - EXIST. EXISTING
 - FR. FROM
 - FL LN. FLOOR LINE
 - FIX. FIXTURE(S)
 - G.I. GREASE INTERCEPTOR
 - G.W. GREASE WASTE
 - LAV LAVATORY
 - P.O.C. POINT OF CONNECTION
 - SH/TUB SHOWER W/ TUB
 - SK SINK
 - SYS SYSTEM
 - VTR VENT THRU ROOF
 - WC WATER CLOSET
 - WF WALK IN FREEZER
 - WSHR. CLOTH WASHER

FIXTURE SERVICE SCHEDULE: SEE KITCHEN DESIGNER PLANS FOR FIXTURE TYPE & CONNECTION DETAILS.

ID	QTY	DESCRIPTION	HOT	COLD	WASTE	VENT	GAS	BTU	PLUMBING NOTES
1	2	VALUE ADDED KITCHEN							
2	1	LAV	1/2"	1/2"	2"	1-1/2"			
3	1	FD	---	1/2"	2"	1-1/2"			
4	1	HS	---	---	---	---			
5	1	EL TROUGH	---	---	---	---			
6	1	1/2-COMP SINK	1/2"	1/2"	2"	1-1/2"			1W TO 2" FS
7	1	WALL MOUNT HAND SINK	2 1/2"	2 1/2"	2"	1-1/2"			1W TO 2" FS
8	1	CONVECTION OVEN - FUTURE	1/2"	1/2"	1-1/2"	1-1/2"			
9	1	CONVECTION STEAMER	---	0 1/2"	2"	1-1/2"	3/4"	60K	(FUTURE)
10	1	8 BURNER RANGE	---	---	---	---	190K	1W TO 2" FS, 1-TREATED, 1-UNTREATED WATER CONN	
11	1	STEAM KETTLE - FUTURE	3/8"	3/8"	1"	1-1/2"	210K		1W TO 2" FL TROUGH
12	1	ICE MACHINE W/ BIN	---	1/2"	1"	1-1/2"	3/4"		1W TO 2" FL TROUGH
13	1	WATER FILTRATION SYSTEM	---	---	---	---			
14	2	WALL MOUNT HAND SINK	1/2"	1/2"	1-1/2"	1-1/2"			1W TO 2" FS
15	1	ICE MACHINE W/ BIN	---	1/2"	1"	1-1/2"			1W TO 2" FS
16	1	WATER FILTRATION SYSTEM	---	---	---	---			
17	1	2-COMP SINK	1/2"	1/2"	2"	1-1/2"			1W TO 3" FS
18	1	DISHWASHER - FUTURE	---	1/2"	2"	1-1/2"			1W TO 3" FS, MIN. 25 PSI CW SUPPLY
19	1	SKILLET	---	---	---	---	3/4"	220K	1W TO 2" FLOOR TROUGH
20	1	DOUBLE CONVECTION OVEN	---	---	---	---	0 3/4"	220K	
21	1	CONVECTION STEAMER	---	---	---	---	2"	220K	1W TO 2" FLOOR TROUGH
22	1	8 BURNER RANGE	---	---	---	---	190K		1W TO 2" FS
23	1	STEAM KETTLE - FUTURE	1/2"	1/2"	2"	1-1/2"			1W TO 2" FL TROUGH
24	1	ICE MACHINE W/ BIN	---	1/2"	1"	1-1/2"	3/4"		1W TO 2" FL TROUGH
25	1	WATER FILTRATION SYSTEM	---	---	---	---			
26	1	SK	---	---	---	---			
27	1	EL TROUGH	---	---	---	---			
28	1	HS	---	---	---	---			

Gravity Grease Interceptor System Sized per UPC 2006
 TABLE 10-3. < 35 DFU REQUIRES A 1,000 GAL GREASE INTERCEPTOR

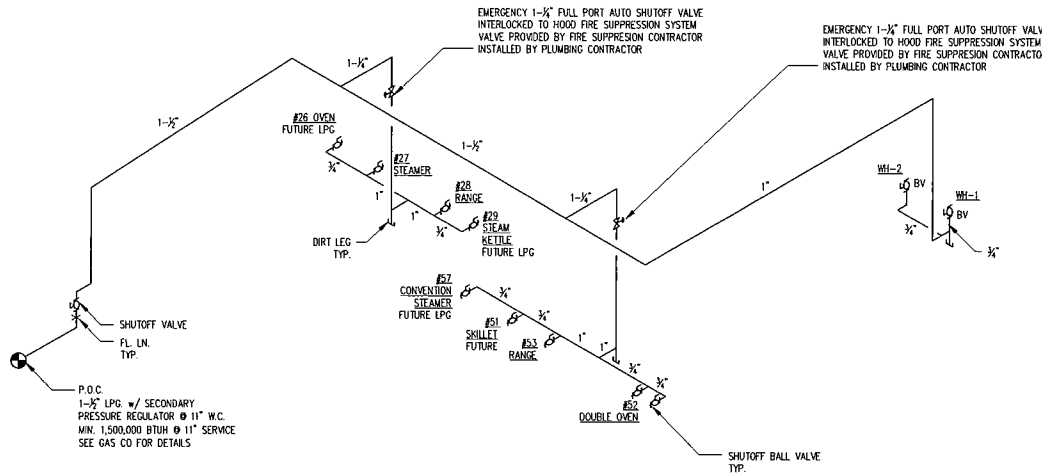
ID	QTY	FIXTURE	TRAP SIZE	DFU	NOTES
1	5	2" FS	2" TRAP	10	FOR ITEMS #1, #2, #3, #4, #5, #6, #7, #8 & #9
2	5	2" FD	2" TRAP	10	EMERGENCY ONLY
3	2	2" FS	2" TRAP	6	FOR ITEMS #10, #11 & #12 (FUTURE)
4	2	2" FS	2" TRAP	6	FOR ITEMS #13, #14 & #15
5	1	1" SINK	1" TRAP	2	
6	1	2-COMP SINK	2" TRAP 1W TO 2" FS	2	
7	1	1-COMP SINK	2" TRAP 1W TO 2" FS	2	
8	1	WALL MOUNT HAND SINK	1-1/2" TRAP	2	
9	2	WALL MOUNT HAND SINK	1-1/2" TRAP	4	
10	2	2-COMP SINK	2" TRAP 1W TO 3" FS	4	
11	1	DISHWASHER - FUTURE	2" TRAP 1W TO 3" FS	2	
12	1	WATER FILTRATION SYSTEM	2" TRAP	2	
13	1	1/2-COMP SINK	1" TRAP	2	

EQUIPMENT SCHEDULE (OR APPROVED EQUAL)

TAG ID	EQUIPMENT NAME	CAPACITY	ELECTRICAL REQ	COMMENTS
WH-1	EXTERIOR LPG ON-DEMAND CONDENSING WATER HEATER RINNAI ULTRA # RU98e (KB3237WD)	15,200 TO 199,000 BTUH @ 9.8 GPM @ 35 °F RISE @ 99 ENERGY FACTOR	120V/1/60 15A MAX 12V DC TEMP CONTROLLER	30"4 x 18" W x 10" D 51 LB 3/4" MNPT ENERGY STAR QUALIFIED CONFIGURE DOUBLE WH PER RINNAI CWH-2 CONFIGURATION w/ MSB-M CONTROL BOARD
PUMP-1	SHALLOW WELL SS CENTRIFUGAL PUMP w/ BUILT IN 30/50 PRESSURE SWITCH GRUNDOS # JPI05-SS (9785508)	14.5 GPM @ 30 PSI	115/230 V 1 HP 13.8/7.1 A 1.40 SF	1" INLET 1" OUTLET 24 LB
TANK-1	VERTICAL PRE-CHARGE PRESSURE TANK FLEXCON ProLine SS COMPOSITE # CS 65	65 G VOL		21" ø x 52" H, 58 LB DRY COMPOSITE TANK w/ 1-1/4" PORT & DRAIN KIT

PROPOSED:
FRIENDS OF KPPCS
COMMUNITY KITCHEN BLDG
 KEALAKEUA, HAWAII
 TMR 1317 9 a.m. on

REVISIONS	BY



(A) LPG PIPING DIAGRAM
NTS

LPG FIXTURES

ID TAG #	CAPACITY
WH-1	199,000 BTUH
WH-2	199,000 BTUH
#26 OVEN (FUTURE)	60,000 BTUH
#27 STEAMER	190,000 BTUH
#28 6-BURNER RANGE	210,000 BTUH
#29 STEAM KETTLE (FUTURE)	100,000 BTUH
#57 CONVENTION STEAMER	100,000 BTUH
#51 SKILLET (FUTURE)	100,000 BTUH
#52 DOUBLE OVEN	2 x 60,000 BTUH
#53 8-BURNER RANGE	220,000 BTUH
TOTAL: 1,498,000 BTUH @ 11"	

PLUMBING GENERAL NOTES & REQUIREMENTS:

- Contractor shall furnish and install (provide) all necessary equipment, materials and labor for a complete and functioning system whether specified or implied in accordance with project documents, all applicable codes and all requirements of Authorities Having Jurisdiction (AHJ).
- Contractor shall provide all necessary permits, pass all necessary inspections and pay all necessary fees required from AHJ for a complete and functioning system.
- Contractor shall visit and examine the site and review all available project documents prior to submission of proposal. Submission of proposal indicates that the Contractor is familiar with all requirements and restrictions.
- Piping, hardware and equipment indicated on plans is diagrammatic in nature and therefore does NOT show the exact run, offsets, bends and details. Contractor shall coordinate the detail pipe run and detail equipment arrangement taking into account all site conditions, site utilities and elevation of all inverts with all other trades and agencies prior to installation. Contractor shall adjust details as necessary to conform to intent of project documents. Contractor shall notify Architect of any significant discrepancies between project documents and field conditions prior to commencement of work.
- Contractor shall install all equipment, hardware and accessories in strict compliance with manufacturer's written instructions, guidelines and listings. Contractor shall notify Architect of any significant discrepancies between manufacturer's written documents and project documents prior to purchase and installation.
- Contractor shall pressure test and disinfect the domestic water system in accordance with County of Hawaii, the Department of Health and AHJ.
- Contractor shall locate all vents thru roof a minimum of 12 ft from all forced ventilation fresh air intake louvers and 10 ft away from adjacent property.
- Contractor shall locate all valves, equipment and hardware requiring maintenance and/or periodic service in accessible locations with necessary access clearance and/or doors and panels.
- Contractor shall provide all necessary flashing to maintain the integrity of the building envelope. Contractor shall submit flashing details to Architect for approval prior to commencement of work.
- Contractor shall provide all necessary seismic isolation, bracing and support in accordance with seismic zone 4 requirements in accordance with all applicable codes and AHJ. Contractor shall submit seismic support details to Architect for approval prior to commencement of work.
- Contractor shall provide fire stop seals thru all fire rated systems so as to maintain system fire rating in accordance with 2006 UPC Chapter 15. Contractor shall coordinate with Architect exact location and details of fire rated system. Prior to purchase and installation of fire stop system, Contractor shall submit to Architect for approval UK system number and drawing for proposed fire stop solution.
- Contractor shall make all necessary penetrations thru structural members and concrete work. Contractor shall coordinate with Architect exact location and details of all structural and concrete penetrations and submit penetration details for review and approval prior to commencement of work.
- Contractor shall sleeve pipes passing thru all concrete foundations and footings with a sleeve a minimum of two pipe sizes larger than pipe and seal space between pipe and sleeve with UL listed seal.
- At all times Contractor shall be responsible for the safekeeping of Contractor's property at the project site. Owner assumes MD responsibility for protection of property against fire, theft or environmental conditions.
- At all times Contractor shall maintain a clean and safe job site. Contractor shall remove from premises daily all dirt and debris caused by the performance of the work.
- Prior to purchase and installation Contractor shall provide itemized submittals in PDF for all specified equipment, hardware and accessories. Substitutions of equal or better quality and function may be allowed with written approval from Architect.
- Upon completion of work Contractor shall provide Architect with a complete set of clearly legible as-built documents in PDF. As-built documents shall include but not be limited to as-built marked up plans showing all deviations from project plans and all manufacturer's operations manuals, service manuals, maintenance schedules and detail manufacturer part or model number including all options and accessories purchased.
- Contractor shall provide a written guarantee to promptly replace or repair all Contractor's expense any defect in workmanship, hardware or equipment observed within one year from the date of occupancy or agreed date of substantial completion of work.

PLUMBING DETAIL NOTES, SPECIFICATIONS AND REQUIREMENTS:

- Waste and vent system shall be Schedule 40 ABS DWV pipe and fittings installed in accordance with IAPMO Installation Standard 5 and UPC Chapter 15 Firestop Protection.
- Water lines above grade shall be copper type L hard tempered with wrought copper or cast bronze fittings installed in accordance with IAPMO Installation Standard 3 and 2006 UPC.
- Water lines below grade shall be copper tubing type K soft temper installed in accordance with IAPMO Installation Standard 3 and 2006 UPC.
- Contractor shall provide 1" thick UL listed elastomeric closed cell pipe insulation on all hot water lines; ARMACELL AP ARMAFLEX or approved equal. Piping insulation exposed to weather shall be protected from damage.
- ALL plumbing fittings, fixtures, pipes and valves shall be "Lead Free" in accordance with "Reduction of Lead in Drinking Water Act" effective January 4th, 2014.
- Contractor shall install all cleanouts flush with finish grade, finish floor or finish wall.
- Contractor shall slope all waste lines at a grade of 1/4" per foot to building sewer.
- Contractor shall slope all vent lines at a grade of 1/4" per foot to plumbing fixture.
- Contractor shall provide dielectric unions between all dissimilar pipes and fittings.
- All water shutoff valves shall be bronze gate valves with solder connections & non-rising stems; WATTS Series LVNGV or approved equal, sized as indicated.
- All water hammer arrestors (WHA) shall be low copper body w/ brass piston and cap listed by IAPMO; WATTS Series #FF15 or approved equal, sized as indicated.
- All water hose bibs (HB) shall be 3/4" cast brass with tamperproof vacuum breaker & cast iron hand wheel; WATTS Series #FSSB or approved equal.
- All water ball valves (BV) shall be 2-piece, full port bronze ball valves complying with MSS-SP-110; WATTS series #FFBV or approved equal, sized as indicated.
- All floor sinks shall be PVC sanitary design with 8" square x 6" deep floor sink with PVC dome bottom strainer and 1/2" bronze grate & frame; MIFAB #FSS20, or approved equal.
- All floor drains shall be PVC/ABS design with 6" square nickel bronze grate; WATTS #FD7-50, or approved equal.
- All water closet, sink and lav stop cocks and hoses shall be braided steel hose kits w/ 90°-turn stops & IPS inlet connection; WATTS #38901215 or approved equal.
- All cleanouts to grade (COIG) shall be PVC/ABS adjustable floor clean out w/ nickel bronze round top; WATTS #CO12 or approved equal, sized as indicated. All wall cleanouts (WCO) shall have a brass plug with wall cover; WATTS CO series or approved equal.
- All floor cleanouts (FCO) shall have a nickel bronze round top with removable poly clean out plug; WATTS CO12 series, or approved equal.
- All trap cleanouts shall be 20 ga chrome plated; Watts 504 series, or approved equal.
- All finish plumbing fixtures, faucets and accessories shall be specified by Architect.
- All Kitchens equipment and kitchen plumbing connection requirements shall be specified by Kitchen Designer Drawings coordinated with Kitchen Equipment Contractor and Architect.

LPG NOTES:

- Liquefied petroleum gas piping above grade shall be standard weight galvanized steel with threaded fittings made up with insoluble approved pipe joint material.
- Service valves shall be full port brass valve approved for liquid petroleum gas.
- All gas piping shall be adequately supported by metal straps or hooks at intervals not to exceed those shown in UPC TABLE 12-2.
- Point of all gas piping exposed to weather with two coats of "rustoleum" or equal paint.
- Provide gas shut-off valve and dirt leg at each point of equipment connection. Plumber to provide all final connections to gas equipment.
- Gas company to provide gas storage system and pressure regulation with a minimum service of 1,500,000 btuh at 11" water column.



THIS WORK WAS PREPARED BY I
OR UNDER THE SUPERVISION &
CONSTRUCTION OF THIS PROJECT
I WILL BE HELD RESPONSIBLE FOR
ANY CHANGE HEREIN THE WITH
APPROVAL OF THE DESIGN ENGINEER

DATE: 08/14/17
DRAWN BY: [Signature]

HAKALAU ENGINEERING, LLC
PO BOX 252 HAKALAU, HI 96710
CCareidomi@HakalauEngineering.com
(808) 961-6202

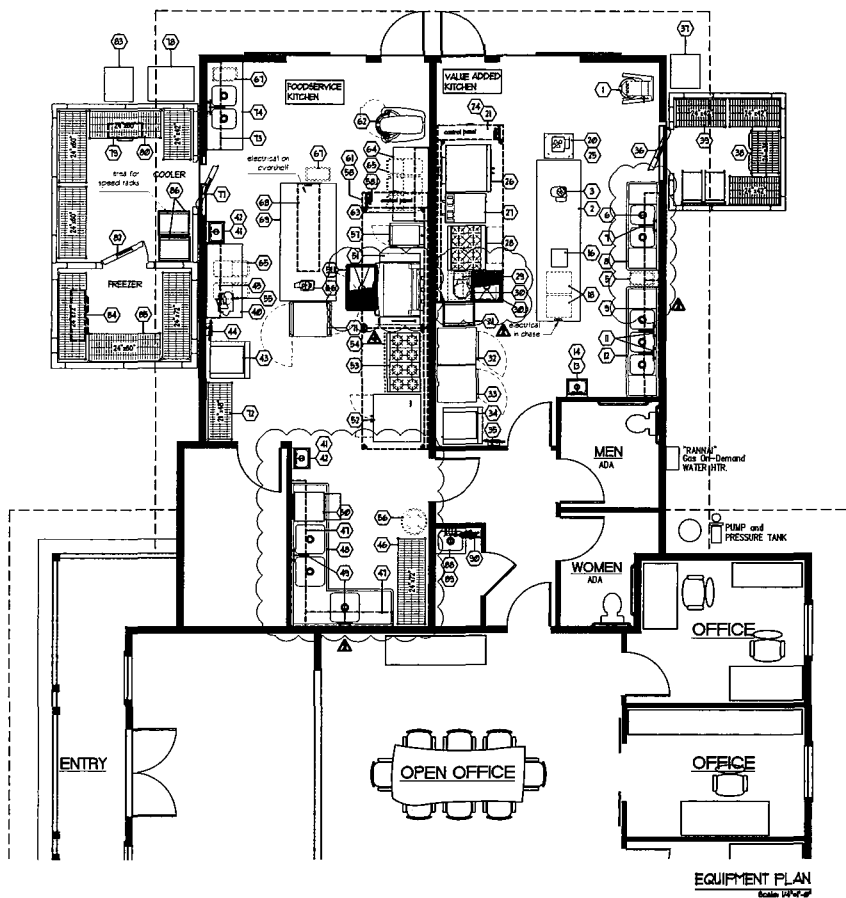
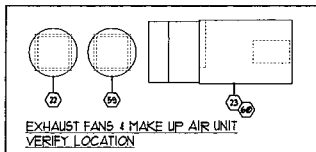
FRIENDS OF KPPCS
COMMUNITY KITCHEN BLDG
KEALAKEUA, HAWAII
TMM 751 7 6 0000

REVISIONS	BY

08/14/17

P-3

ITEM NO.	SUPPLIER		DESCRIPTION
	K.E.C. S.C.	OTHERS	
1			1/2" DIA. SINK
2			1/2" DIA. SINK
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100			1/2" DIA. SINK



GENERAL NOTES

- IT SHALL BE NOTED BY THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS THAT THIS SET OF PLANS AND THE INFORMATION CONTAINED WITHIN IN NO WAY RELIEVES SAID PARTIES OF THEIR RESPONSIBILITY TO INVESTIGATE AND COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES AND TO PERFORM ALL WORK TO THE HIGHEST STANDARDS.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS TO VERIFY THE ACTUAL SPACE AND MECHANICAL REQUIREMENTS OF ALL ITEMS SHOWN AS FURNISHED, SUPPLIED BY OTHERS, ETC., WITH THE OWNER PRIOR TO ROUGH-IN AND CONNECTION.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO IMMEDIATELY NOTIFY THE KITCHEN EQUIPMENT CONTRACTOR IN WRITING OF ANY CHANGES TO THE BUILDING THAT AFFECT EQUIPMENT PLACEMENT AND SIZES (I.E. WALL CHANGES, WATER HEATER LOCATIONS, ELECTRICAL PANELS, ETC.).
- SUITABLE WALL BACKINGS AS SHOWN ON THESE PLANS AND AS REQUIRED BY THE OWNER SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL PROVIDE FLOOR, WALL, CEILING AND ROOF PENETRATIONS, INCLUDING, BUT NOT LIMITED TO THOSE REQUIRED FOR MAKE-UP AIR, CLASS II EXHAUST DUCTS, FIRE-RATED SHAFTS FOR CLASS I EXHAUST DUCTS.
- THE GENERAL CONTRACTOR SHALL PROVIDE CONDUIT AND SLEEVES FOR REFRIGERATION LINES, SYRUP, CARBON DIOXIDE GAS, BEER LINES, LIQUOR LINES, AND DATA LINES. CONDUIT SHALL BE CIRCULAR PVC EQUAL TO THE DIAMETER INDICATED ON PLANS. ALL BENDS SHALL HAVE A MINIMUM RADIUS OF TWENTY-FOUR INCHES.
- THE GENERAL CONTRACTOR SHALL PROPERLY SEAL ALL WALL AND FLOOR PENETRATIONS AFTER THE INSTALLATION OF RELATED EQUIPMENT AND FINISHING ITEMS.
- ALL DIMENSIONS SHOWN ARE FROM FACE OF FINISHED WALL OR FLOOR.
- ALL UTILITY ROUGH-INS SHOWN ON THESE PLANS ARE SUBJECT TO CHANGE PENDING FINAL EQUIPMENT SELECTION AND LOCATION.
- ALL UTILITY ROUGH-INS, FINAL CONNECTIONS, AND HOOK-UPS SHALL BE PROVIDED AND PERFORMED BY THE RESPECTIVE LICENSED SUB-CONTRACTORS IN COMPLIANCE WITH APPLICABLE NATIONAL AND LOCAL CODES.
- SEISMIC BRACING INFORMATION IF REQUIRED, IS NOT INDICATED ON THESE PLANS NOR IS IT PROVIDED BY THE KITCHEN EQUIPMENT CONTRACTOR UNLESS OTHERWISE SPECIFIED HEREIN.
- WHERE EQUIPMENT PRODUCES NOISE THAT MAY VIBRATE THROUGH WALLS TO ANY PUBLIC AND/OR DINING AREAS, THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ADEQUATE SOUND PROOFING IN WALLS.

2/15/2017 PERMIT SET

BARGREEN ELLINGSON
 ARCHITECTURE INTERIORS & LANDSCAPE ARCHITECTURE
 605 FACOMAR WALK BLVD
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 (540) 466-6000
 www.bargreen.com

**KONA PACIFIC PUBLIC
 CHARTER SCHOOL**
 STREET ADDRESS
 KONA, HI

REVISION INFORMATION		
#	START	PERMIT
0	9/27/16	02/04/17
REVISION		
1	5/30/16	2/28/17 (A)
2	10/5/16	4/12/17 (A)
3	11/15/16	5/8/17 (A)
4	12/5/16	6/19/17 (A)
5	12/16/16	---
6	1/16/17	---
7	2/7/17	---
8	2/10/17	---

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DESIGNED BY
 P. Marvel
 PROJECT MANAGER
 S. Marquard

SHEET TITLE
**FOODSERVICE
 EQUIPMENT
 PLAN**
 SHEET NUMBER

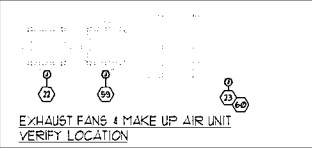
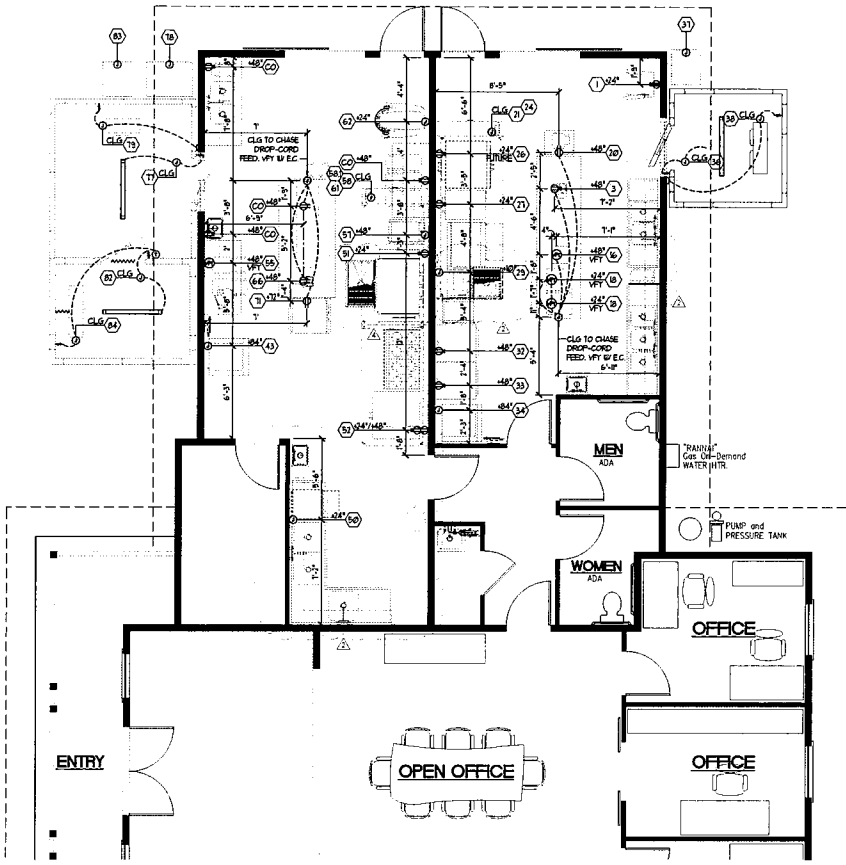
K-1
 1 OF 8
 PROJECT NUMBER
 4264

ITEM NO.	SUPPLIER		DESCRIPTION
	K.E.C.	OTHERS	
1	X		VALUE ADDED KITCHEN
2	X		480V TABLE - 36x76
3	X		FOOD PROCESSOR
4	X		FOOD PROCESSOR
5	X		TRASH RECEPTACLE
6	X		FAUCET
7	X		1/2" COFFER
8	X		1/2" COFFER
9	X		1/2" COFFER
10	X		1/2" COFFER
11	X		1/2" COFFER
12	X		1/2" COFFER
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97	X		1/2" COFFER
98	X		1/2" COFFER
99	X		1/2" COFFER
100	X		1/2" COFFER

VERIFY ALL REQUIREMENTS NOT PROVIDED BY KEC.

ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
⊙	JUNCTION BOX
⊕	60 VOLT OUTLET (600V)
⊖	208 VOLT OUTLET (100V)
⊙	ELECTRICAL STUD
⊕	FLOOR OUTLET
⊖	DEDICATED / ISOLATED
⊕	SWITCH
⊖	LIGHT FIXTURE
⊕	FIELD CONNECTION
⊖	HEAT TAPE
⊕	MOTOR
⊖	TEMPERATUR
⊕	SOLENOID
⊖	PO2 NETWORK CONNECTION
⊕	20V/40V AMP CONVENIENCE OUTLET
⊖	VERIFY CONN TYPE 1 POWER REQ.
⊕	PHONE



ELECTRICAL NOTES

1. ALL ELECTRICAL ROUGH-IN WORK AND FINAL CONNECTIONS TO ALL FOOD SERVICE AND RELATED EQUIPMENT AS SHOWN ON THE KITCHEN EQUIPMENT CONTRACTOR'S PLANS TO BE PERFORMED BY THE ELECTRICAL CONTRACTOR PER NATIONAL AND LOCAL CODES.
2. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL STAINLESS STEEL OUTLET AND RECEPTACLE COVERS IN SERVICE AREAS.
3. THE ELECTRICAL CONNECTIONS, SPECIFICATIONS AND DIMENSIONS SHOWN ON THESE PLANS ARE FOR FOOD SERVICE EQUIPMENT ONLY. SEE THE ARCHITECT'S PLAN SET FOR ADDITIONAL ELECTRICAL REQUIREMENTS INCLUDING OFFICE, MENU BOARDS, TELEPHONE AND DATA LINES, ETC.
4. THE ELECTRICAL CONTRACTOR SHALL PROVIDE RUSED DISCONNECTS FOR EQUIPMENT HOOK-UPS AS REQUIRED BY CODE AND LABELING.
5. ALL ELECTRICAL ROUGH-IN WORK AND ALL FINAL CONNECTIONS FOR ALL ITEMS SHOWN AND SPECIFIED ON THESE PLANS BY BARGREEN ELLINGSON SHALL BE PERFORMED BY THE ELECTRICAL CONTRACTOR.
6. UNLESS OTHERWISE SPECIFIED IN THESE PLANS OR OTHER WRITTEN CONTRACTS, IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE ALL ELECTRICAL-TYPE MATERIALS INCLUDING, BUT NOT LIMITED TO: WIRING, SWITCHES, DISCONNECTS, FLEX, CONDUIT, CONTROLS, TRANSFORMERS, THERMAL OVERLOAD PROTECTORS, MAGNETIC STARTERS, SHUNT TRIP BREAKERS, ELECTRICAL PANELS, CORDS, PLUGS, COVERS, ETC.
7. ELECTRICAL CONTRACTOR SHALL PROVIDE THE KITCHEN EQUIPMENT CONTRACTOR WITH ELECTRICAL PANEL(S) SIZE AND LOCATION ALONG WITH AVAILABLE VOLTAGE AND PHASE.
8. ANY LOW VOLTAGE WIRING FOR REMOTE WALK-IN CONTROL PANEL TO BE INSTALLED BY ELECTRICIAN.

9. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL ELECTRICAL COMPONENTS FOR WALK-IN REFRIGERATORS AND FREEZERS INCLUDING, BUT NOT LIMITED TO: LIGHTS, DOOR VENTS, SOLENOIDS, TIE CLOCKS, DEFROST CIRCUITS, DOOR HEATER, AND INTERCONNECTIONS BETWEEN REMOTE COMPRESSORS AND INTERIOR MOUNTED EVAPORATOR COILS. ELECTRICAL SHALL ALSO PROVIDE DISCONNECTS AND THERMO-OVERLOAD PROTECTION FOR COMPRESSORS.
10. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL HEAT TAPE ON DRAIN LINES IN DANGER OF FREEZING. VERIFY LENGTH WITH REFRIGERATION CONTRACTOR.
11. THE ELECTRICAL CONTRACTOR SHALL PROVIDE DISCONNECTS AT THE POWER BOX FOR EACH ICE MACHINE HEAD.
12. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE INTERCONNECT SWITCHING BETWEEN THE KITCHEN HOOD EXHAUST FANS AND THE KITCHEN MAKE-UP AIR SYSTEMS AS REQUIRED PER LOCAL CODE AND AUTHORITIES.
13. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE ELECTRICAL CONTROLS ON ALL ELECTRICAL OUTLETS, JUNCTION BOXES, ETC. LOCATED UNDER ANY CLASS I EXHAUST HOOD SO AS TO DISCONNECT UPON ACTIVATION OF THE FIRE SUPPRESSION SYSTEM.
14. ELECTRICAL CONTRACTOR SHALL VERIFY REQUIREMENTS OF CASH REGISTERS, PRINTERS, COMPUTERS, SOUND SYSTEM, ETC. INCLUDING CONDUIT RUNS AND DEDICATED / ISOLATED OUTLET REQUIREMENTS.
15. ALL DIMENSIONS SHOWN ARE FROM GRID LINES, FINISHED WALLS OR FINISHED FLOORS TO CENTER LINE OF ELECTRICAL OUTLET BOXES. HEIGHTS ARE NOT TO BE TAKEN FROM CURBS OR PLATFORS.
16. TEMPERATURE SENSORS RELATED TO THE HOOD SYSTEM, AND INTENDED TO BE INSTALLED IN THE KITCHEN SPACE, SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

BARGREEN ELLINGSON
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 (808) 255-8400
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KONA PACIFIC PUBLIC CHARTER SCHOOL
 STREET ADDRESS
 KONA, HI

REVISION INFORMATION		
#	START	PERMIT
0	9/22/16	02/14/17
1	REVISION	DELTA
2	9/26/16	2/28/17
3	10/5/16	4/12/17
4	11/15/16	5/3/17
5	12/5/16	5/19/17
6	1/16/17	---
7	2/7/17	---
8	2/10/17	---

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DESIGNED BY
 P. Marvel
 PROJECT MANAGER
 S. Marquardt

SHEET TITLE
ELECTRICAL ROUGH-IN PLAN

SHEET NUMBER
K-3

3 OF 8
 PROJECT NUMBER
 4254

2/15/2017 11:11 AM

#	START	PERMIT
0	9/22/16	0214/17
1	9/26/16	2/28/17
2	10/25/16	4/12/17
3	11/12/16	6/6/17
4	12/5/16	8/12/17
5	12/16/16	---
6	1/16/17	---
7	2/7/17	---
8	2/20/17	---

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DRAWN BY
 P. Marvel
 PROJECT MANAGER
 S. Marquard

SHEET TITLE

WALL BACKING PLAN

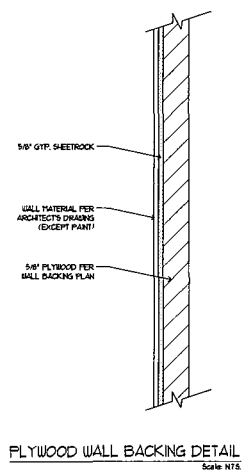
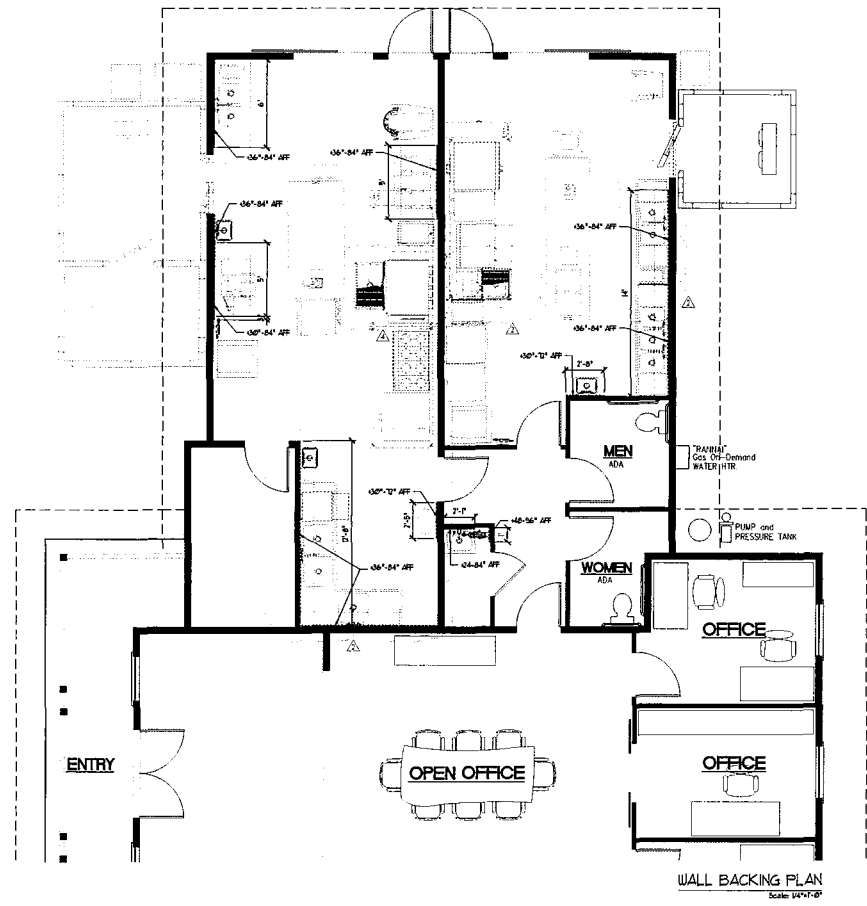
SHEET NUMBER

K-5

5 OF 8

PROJECT NUMBER
 4254

2016/2017 PERMIT SET



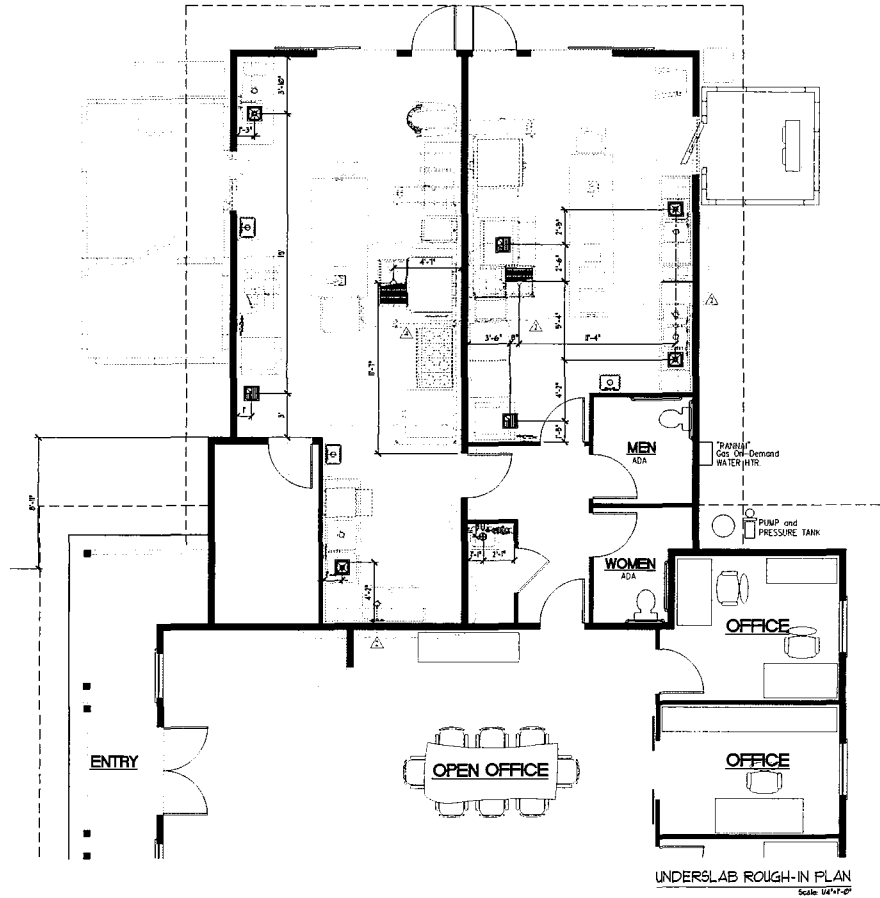
WALL BACKING NOTES

1. GENERAL CONTRACTOR SHALL CONSULT WITH OWNER AND BARGREEN ELLINGSON AT THE TIME OF LAYOUT FOR WALL BACKING FOR CONFIRMATION OF ALL DIMENSIONS AND UP-DATE REQUIREMENTS.
2. WALL BACKING TO BE USED FOR WALL MOUNTED EQUIPMENT AND SHELVES.
3. WALL BACKING TO BE 5/8" PLYWOOD, WALL BACKING NOTED AS 5/8" TO BE 16 - GAUGE SHEET METAL.
4. WALL BACKING TO BE BUILT INTO WALL SO THAT FINISHED WALL IS A FLUSH SURFACE.

VERIFY ALL REQUIREMENTS
NOT PROVIDED BY KEC.

UNDERSLAB LEGEND

SYMBOL	DESCRIPTION
□	FLOOR SINK, NO GRATE
□	FLOOR SINK, 1/2 GRATE
□	FLOOR SINK, 3/4 GRATE
○	AREA / FLOOR DRAIN
○	BEVERAGE CONDUIT STUB-UP
○	ELECTRICAL STUB
○	FIELD CONNECTOR



UNDERSLAB ROUGH-IN PLAN
Scale: 1/4\"/>

PLUMBING NOTES

1. ALL PLUMBING ROUGH-IN WORK AND FINAL CONNECTIONS TO ALL FOOD SERVICE AND RELATED EQUIPMENT AS SHOWN ON THE KITCHEN EQUIPMENT CONTRACTORS PLANS TO BE PERFORMED BY THE PLUMBING CONTRACTOR PER NATIONAL AND LOCAL CODES.
2. UNLESS OTHERWISE SPECIFIED IN THESE PLANS OR OTHER WRITTEN CONTRACTS, IT SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO PROVIDE ALL PLUMBING-TYPE MATERIALS INCLUDING VALVES, TRAPS, LINE STRAINERS, FLOOR SINK COVERS, PRESSURE REGULATORS, SIPHON BREAKERS, ETC.
3. PLUMBING CONTRACTOR SHALL SIZE, FURNISH AND INSTALL ALL GREASE TRAPS OR INTERCEPTORS AS REQUIRED AND COORDINATE SIZES AND LOCATIONS WITH KITCHEN EQUIPMENT CONTRACTOR.
4. PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL ALL GAS SHUT-OFF VALVES FOR EACH PIECE OF EQUIPMENT WITH PERMANENT I.D. TAGS AS WELL AS THE MAIN GAS VALVE(S).
5. PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL ALL DIRECT SINK WASTE LINES AND ALL INDIRECT EQUIPMENT WASTE LINES AS SHOWN ON PLANS PER LOCAL CODES INCLUDING TRAPS, TAIL PIECES, LINE STRAINERS, AND WALK-IN CONDENSATE WASTE LINES, AS REQUIRED. INDIRECT WASTE LINE ROUTING THROUGH CABINETS SHALL BE IN A HANGER SO AS TO MAXIMIZE USABLE STORAGE SPACE.
6. ALL DRAIN LINES FROM EQUIPMENT REQUIRING CONDENSATION REMOVAL SHALL BE RUN IN COPPER AND TO BE PROVIDED BY THE PLUMBER.
7. ALL INDIRECT WASTE LINES TO HAVE A 2" MINIMUM AIR GAP ABOVE FLOOD RIM OF RECEIVING FIXTURE.
8. THE PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL INSULATION MATERIAL ON ALL DRAINLINES FROM ICE BINS, ICE PANS, ETC. SO AS TO ELIMINATE CONDENSATION FORMATION.
9. FLOOR SINKS SHALL BE FURNISHED AND INSTALLED BY THE PLUMBING CONTRACTOR IN LOCATIONS SHOWN, AND SUPPLIED WITH 3/4 GRATE OR AS SPECIFIED. AREA DRAINS, IF REQUIRED, SHALL BE VERIFIED WITH THE ARCHITECT.
10. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THAT THE LOCATIONS FOR ALL MECHANICAL REQUIREMENTS WHICH REQUIRE FLOOR PENETRATIONS DO NOT CONFLICT WITH STRUCTURAL MEMBERS IN THE FLOOR.
11. THE GENERAL CONTRACTOR SHALL SUPERVISE THE LOCATION OF ALL FLOOR DRAINS ON THE JOB SITE SO AS TO ENSURE THE BEST SLOPE POSSIBLE OF THE SURROUNDING FLOOR TO THESE DRAINS.
12. PLUMBER SHALL FURNISH AND INSTALL PRESSURE REDUCING VALVE(S) AT DISHWASHER(S), GLASS WASHER(S), STEAPER(S) AND OTHER EQUIPMENT, AS REQUIRED.
13. IT SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO FURNISH AND INSTALL ALL WATER HEATERS FOR THIS PROJECT AND TO ENSURE ADEQUATE WATER SUPPLY FOR THE FOOD SERVICE EQUIPMENT. WATER TEMPERATURE TO THE DISHWASHER SHALL BE 140°. COORDINATE LOCATION OF WATER HEATER WITH KITCHEN EQUIPMENT CONTRACTOR.
14. THE PLUMBING CONNECTIONS, SPECIFICATIONS AND DIMENSIONS SHOWN ON THESE PLANS ARE FOR FOOD SERVICE EQUIPMENT ONLY. SEE ARCHITECT'S PLAN SET FOR ALL OTHER PLUMBING REQUIREMENTS FOR THIS PROJECT.

BARGREEN ELLINGSON
PLUMBING, HEATING, AIR CONDITIONING, ETC.
6628 TACOMA AVE. #100
TACOMA, WA 98409
PH: 253.866.1500
WWW.BARGREEN.COM

**KONA PACIFIC PUBLIC
CHARTER SCHOOL**
STREET ADDRESS
KONA, HI

REVISION INFORMATION		
#	START	PERMIT
0	9/22/16	031417
#	REVISION	DATE
1	2/20/16	2/22/17 Δ
2	10/5/16	4/12/17 Δ
3	11/3/16	6/8/17 Δ
4	12/5/16	6/19/17 Δ
5	12/16/16	---
6	1/18/17	---
7	2/7/17	---
8	2/10/17	---

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DATE PLOTTED: 2/10/17 11:09:20 AM

DRAWN BY:
P. Marvel
PROJECT MANAGER:
S. Marquardt

SHEET TITLE
**UNDERSLAB
ROUGH-IN
PLAN**

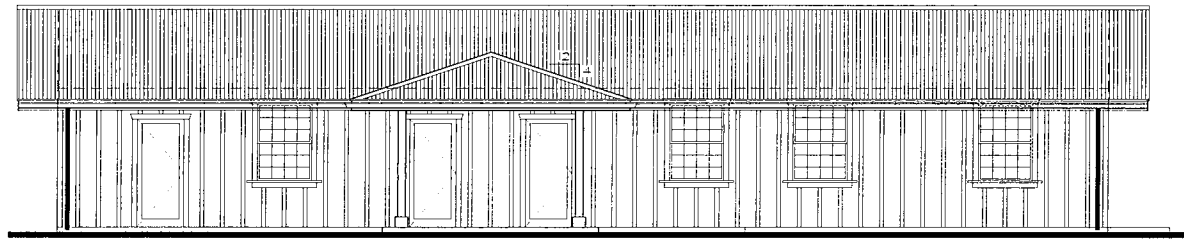
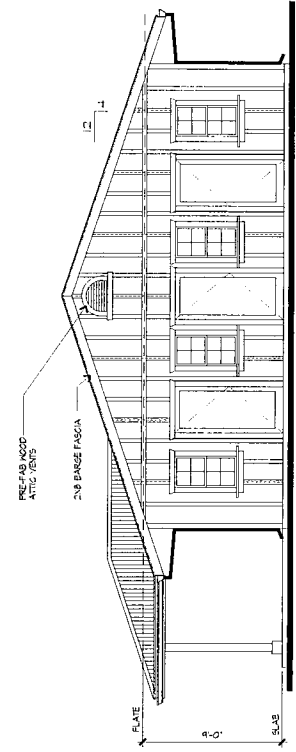
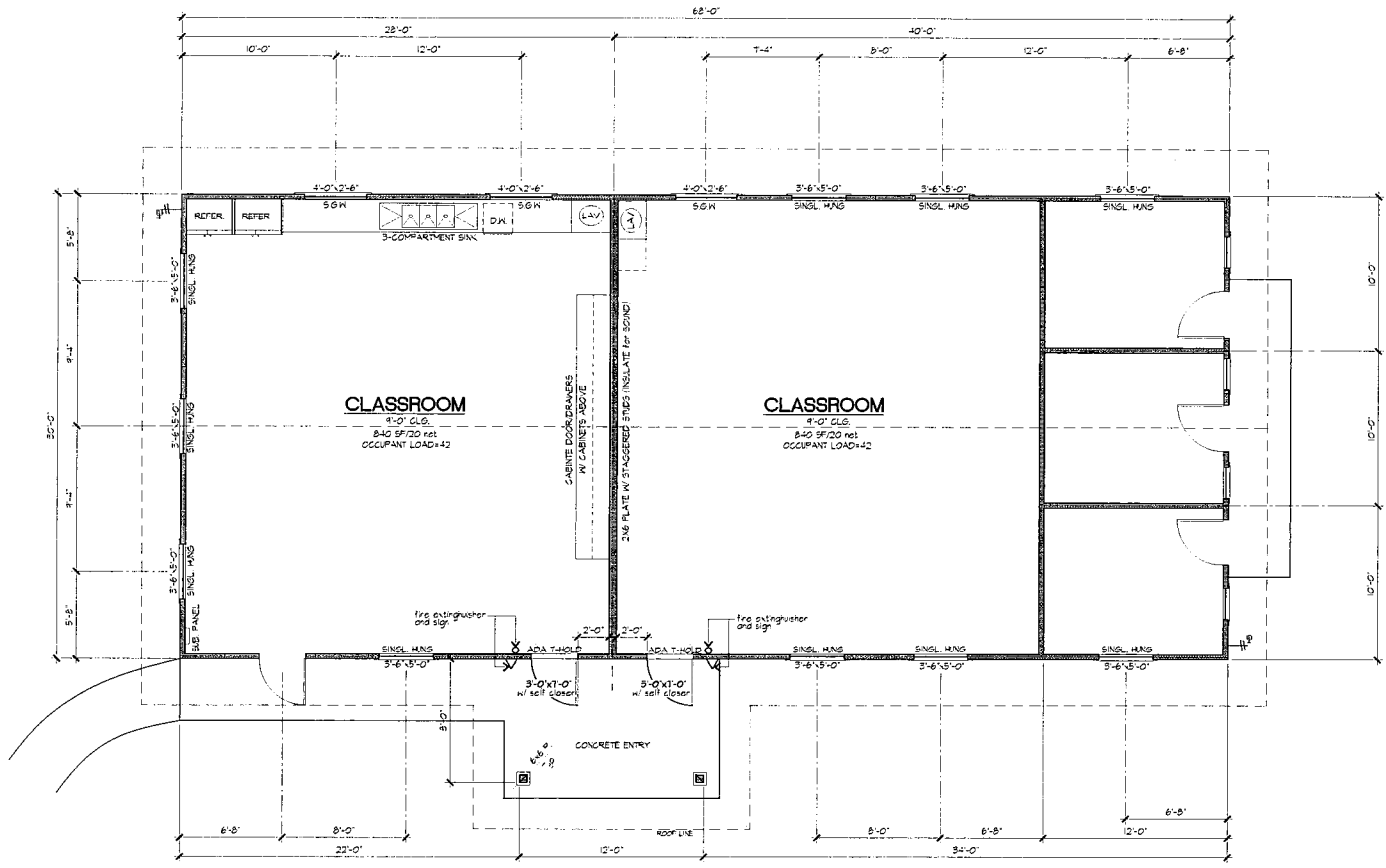
SHEET NUMBER

K-6

6 OF 8

PROJECT NUMBER
4254

2/15/2017 PERMIT SET



Project: KPPCS phase 2 - Community Kitchens Building	Job #: 17-300
Contact: Eric Moxley	Project Duration: 135 working days
Tinguely Development	Project Duration: 196 calendar days
Location: 79-7595 D Hawaii Belt Road	Budget Update: November 3, 2017
Kealakekua, HI	

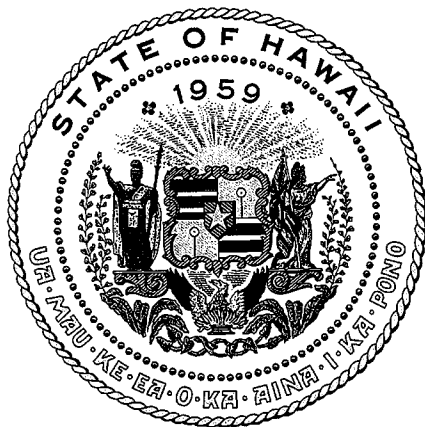
SCOPE OF WORK

GENERAL REQUIREMENTS	FINISH CARPENTRY
Permit	Shelving
Construction management	Millwork interior
Notice of completion	Mouldings, base
Inspections	Gable vents
Surveying	THERMAL & MOISTURE P.
As-built blueprints	Roofing/gutters
Temporary electric	Siding
Temporary water	Fire & Smoke Protection
6' temporary orange fence	Caulking & Sealants
Office equipment & supplies	DOORS & WINDOWS
Safety	Wood doors
Temporary toilets	Windows
Final cleaning	Barn doors - custom
Clean-up and dumpster	Screens
Protection	Hardware
Material handling	Mirrors
Forklift	FINISHES
Mobilize/demobilize	Drywall
Small tools	Painting
Punchlist	SPECIALTIES
SITWORK	Fire Extinguishers
Clearing & Grubbing	Toilet/Bath accessories
Earthwork	SPECIAL CONSTRUCTION
Base Course	Fire Suppression
Import Soils	MECHANICAL
Structural Excavation	Plumbing
Drain Rock	Water serv. to Bldg. (allowance)
Compaction	Plumbing Fixtures
Trenching	HVAC
Final/Finish Grading	ELECTRICAL
Erosion control-silt fence	Electrical
Septic System	GENERAL REQUIREMENTS
Piping, subdrainage, concrete	Insurances-general liability (0.18%)
Paving-street & site	Contingencies (2.0%)
Parking striping	Overhead & profit (8.0%)
CONCRETE	Taxes-est. GE tax(4.167% of labor, mat'l, OH&P)
Concrete	Bond (1.5%)
Stain concrete	
MASONRY	
Rock walls	
ROUGH CARPENTRY	
Rough carpentry	
Hardware/Fasteners/Acc.	
Roof framing	
Trusses	
Lumber	

Project: KPPCS phase 2 - Building G	Job #: 17-300
Contact: Eric Moxley	Project Duration: 65 working days
Tinguely Development	Project Duration: 90 calendar days
Location: 79-7595 D Hawaii Belt Road	
Kealahou, HI	Budget Update: November 3, 2017

SCOPE OF WORK

GENERAL REQUIREMENTS	Flooring & install allowance
Construction Management	Painting
Small tools	MECHANICAL
protection	Plumbing
CONST. FACILITIES & TEMP.	ELECTRICAL
Temp Construction Fence	Electrical Sitework
Temporary utilities and services	GENERAL REQUIREMENTS
General labor	Insurances-general liability
Mobilize/Demobilize	Contingencies
PROJECT CLOSEOUT	Overhead & profit
Final clean up	Taxes-est. GE tax(4.167% of labor, mat'l, OH&P)
Rubbish Disposal	Bond
EARTHWORK	
Import/Export soils	
structural excavation	
DRAINAGE SYSTEMS	
Sewer Connection	
CONCRETE	
Concrete Foundations/Slabs	
Decks/Lanais/Walks	
METALS	
Metals-General	
Wood/Rough Carpentry	
Hardware/Fasteners/Accessories	
ROUGH CARPENTRY	
Lumber	
Framing	
PreEngineered Trusses	
Roof framing	
FINISH CARPENTRY	
Panneling Interior Millwork	
Baseboards	
Louvers and vents	
Cabinets	
THERMAL & MOISTURE P.	
Siding	
Roofing	
Caulking and Sealants	
DOORS & WINDOWS	
Wood & plastic doors	
Wood/Plastic Windows	
Hardware allowance	
FINISHES	
Drywall	



Department of Commerce and Consumer Affairs

CERTIFICATE OF GOOD STANDING

I, the undersigned Director of Commerce and Consumer Affairs of the State of Hawaii, do hereby certify that

FRIENDS OF KONA PACIFIC PUBLIC CHARTER SCHOOL, INC.

was incorporated under the laws of Hawaii on 11/07/2006 ; that it is an existing nonprofit corporation; and that, as far as the records of this Department reveal, has complied with all of the provisions of the Hawaii Nonprofit Corporations Act, regulating domestic nonprofit corporations.



IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of the Department of Commerce and Consumer Affairs, at Honolulu, Hawaii.

Dated: January 13, 2018

Director of Commerce and Consumer Affairs