

**Hawai‘i School Facilities Authority**

## **WHY?**

HISFA builds modern learning spaces for public schools and contemporary living environments for workforce housing

## **HOW?**

HISFA improves how government builds schools and housing:

- Standards based designs
- Prefabricated construction
- Building maintainability
- Innovative procurement
  - Prequalified vendors for speed
  - Best Value vs Low Bid for quality
  - Design Build Finance Operate Maintain (DBFOM) project delivery for Public Private Partnerships (P3s)

## **WHAT?**

HISFA programs: (1) Preschools; (2) Central Maui Schools; (3) Workforce Housing

# Program Budget

	(1) Preschools	(2) Central Maui Schools	(3) Workforce Housing	Total
<b>Appropriations</b>	<b><u>300,000,000.00</u></b>	<b><u>39,000,000.00</u></b>	<b><u>50,000,000.00</u></b>	<b><u>389,000,000.00</u></b>
<b>FY23</b>	*200,000,000.00	**20,000,000.00	0.00	220,000,000.00
<b>FY24</b>	0.00	**10,000,000.00	*50,000,000.00	60,000,000.00
<b>FY25</b>	**100,000,000.00	**9,000,000.00	0.00	109,000,000.00
<b>Allotments</b>	<b><u>*81,685,613.00</u></b>	<b><u>**20,000,000.00</u></b>	<b><u>*5,000,000.00</u></b>	<b><u>106,685,613.00</u></b>
<b>Obligations</b>	48,796,767.19	18,960,000.00	4,880,413.61	72,637,180.80
<b>Expenditures</b>	32,016,359.92	1,040,000.00	119,586.39	33,175,946.31
<b>Encumbrance</b>	80,813,127.11	20,000,000.00	5,000,000.00	105,813,127.11
<b>Special Fund</b>	872,485.89	0.00	0.00	872,485.89

\* general funds

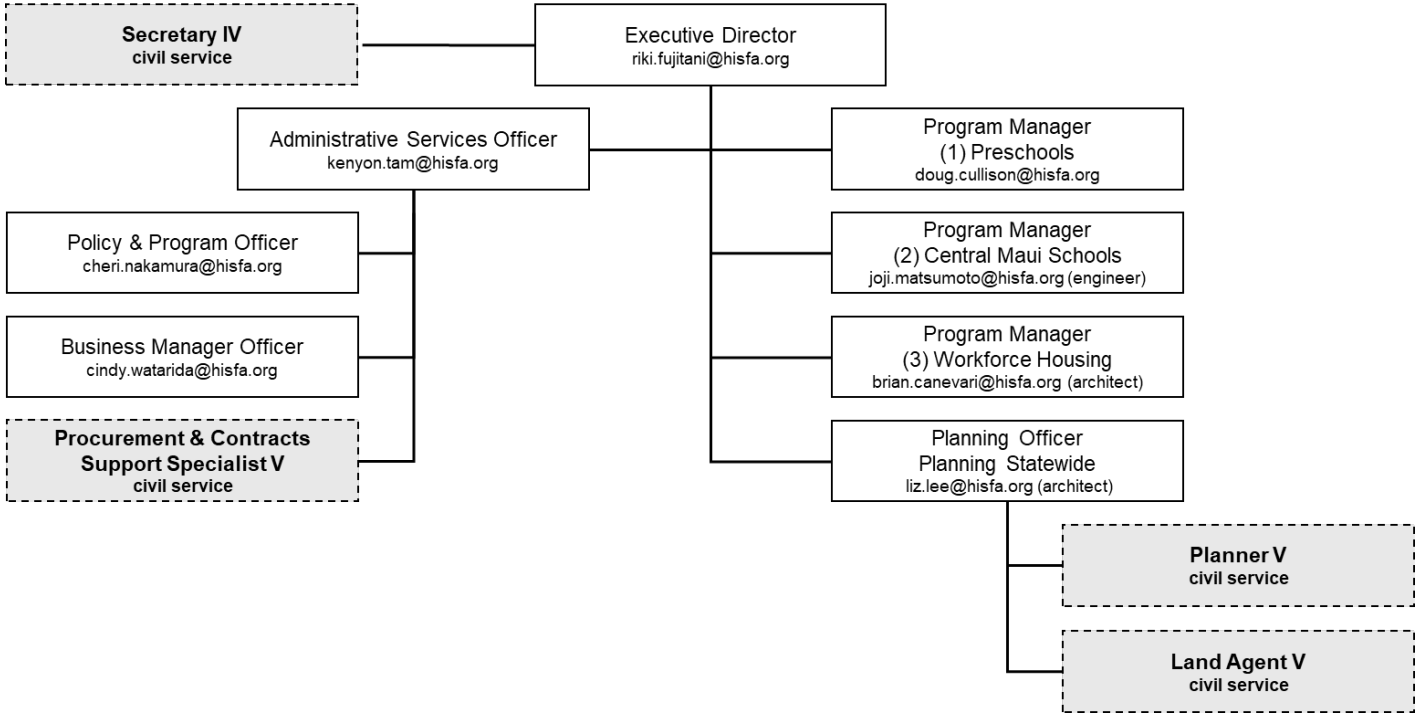
\*\* general obligation bond funds

# Operating Budget

	FY24	FY25	FY26
<b>Operating</b>	\$1,761,193	\$1,761,193	\$1,696,193
<b>Positions Exempt</b>	8	8	8
<b>Positions Civil Service</b>	4	4	4

**SCHOOL FACILITIES AUTHORITY BOARD**

- 1) Kimo Unten (chairperson)
- 2) Harold Edwards (vice chairperson)
- 3) Edmund Aczon
- 4) Jan Iwase
- 5) Logan Okita



# (1) Preschools

**(1) Preschools**  
**Allotment = \$81,685,613**

**Act 257 (2022)**

\$200M Expand Access to Pre-kindergarten

**Act 175 (2023)**

\$200M Transfers to Special Fund

**Act 230 (2024)**

\$100M FY25 CIP LUMP SUM CIP  
PRE-KINDERGARTEN CAPACITY  
(06.30.26)

**Pilot: 11 Classrooms August 2023**

**7 months: Start to Finish**

- Start February 2023. Standards and designs for renovations
- May – July 2023. Construction
- July 2023. Furniture
- Finish August 2023. Opening 11 classrooms
- \$3.8M = 11 classrooms for \$345K/classroom

**Phase I: Renovations**

**Minor Renovations**

- \$300-\$400K/classroom
- August 2024. 45 additional classrooms
- August 2025. 25 additional classrooms
- August 2026. 15 additional classrooms

**Major Renovations**

- \$1M/classroom

**Phase II: New Buildings  
Preschool Hubs**

**Traditional Buildings**

- \$10M UH Manoa Housing 2023
- \$1.5M Malama Honua PCS 2024
- \$4M Pearl City Library 2024
- Waikoloa Library 2025
- HCC Palamanui 2026

**Prefabricated Buildings**

- \$6M-\$12M/building
- 4-8 classrooms
- Pre-Design/Design 2024-25
- Construction 2026-27

# Preschool Renovations

Standards and design guides for renovations

August 2023: 11 classrooms (Pilot)

August 2024: 45 classrooms

August 2025: 25 classrooms

August 2026: 15 classrooms

School	Year	Classrooms	Seats
FERN ES	2023	1	20
HANA ES	2023	1	18
HONOWAI ES	2023	1	19
KAEWAI ES	2023	1	20
KILAUEA ES	2023	1	20
LINCOLN ES	2023	1	16
POPE ES	2023	1	20
SUNSET BEACH ES	2023	1	20
WAHIAWA ES	2023	1	20
WAILUKU ES	2023	1	20
WAIMEA ES	2023	1	20
	<b>Aug-23</b>	<b>11</b>	<b>213</b>
Aina Haina Elementary School	2024	1	20
Ala Wai Elem School	2024	1	17
Alvah Scott Elementary School	2024	1	19
Hahaione Elem School	2024	1	20
Haiku Elem School	2024	1	18
Honowai Elementary School	2024	1	18
Hookena Elem School	2024	1	20
Iliahi Elementary School	2024	1	20
Ka'ala Elementary School	2024	1	20
Kahakai Elementary School	2024	1	19
Kahala Elem School	2024	2	40
Kainalu Elem School	2024	1	17
Kapa'a Elem School	2024	2	40
Kauluwela Elem School	2024	1	19
Kihei Elem School	2024	1	20
Koko Head Elementary School	2024	1	20
Kuhio Elem School	2024	1	20
Lanakila Elem School	2024	2	40
Leihoku Elementary School	2024	2	40
Mauka Lani Elem School	2024	1	20
Maunaloa Elementary School	2024	1	20
Naalehu Elementary	2024	3	54
Nahienaena Elem School	2024	1	20
Nanaikapono	2024	1	20
Nanakuli Elem School	2024	2	40
Noelani Elem School	2024	1	16
Pa'auilo Elementary & Intermediate School	2024	1	16
Parker Elem School	2024	2	40
Pearl City Elem School	2024	1	20
Pearl Harbor Kai Elementary School	2024	2	24
Pope Elementary School	2024	1	20
Red Hill Elementary School	2024	1	12
Solomon Elem School	2024	2	40
Waianae Elem School	2024	1	20
Wailuku Elem School	2024	1	20
	<b>Aug-24</b>	<b>45</b>	<b>849</b>

# New Buildings

## Preschool Hubs

### Traditional Buildings

- UH Manoa Housing 2023
- Malama Honua PCS 2024
- Pearl City Library 2024
- Waikoloa Library 2025
- HCC Palamanui 2026

### Prefabricated Buildings

- Imiloa Astronomy Center
- Kamaile Academy PCS
- Paia ES
- Kauai Community College
- Kanuikapono

## Prefabricated Buildings – Project Frog



### Dow R&D Facility



Location: Kauai, HI  
6,100 square feet

The farm buildings consist of equipment storage, a maintenance shop, a work area and include a lunchroom, a conference room, locker room facilities with showers.

### Skyline Elementary School

Location: San Francisco, CA  
7,200 square feet

Kindergarten classroom building, general classrooms, an Exploratorium and a library / media center.

### Jacoby Creek School

Location: Bayside, CA  
3,500 square feet

Traditional construction in this isolated community in rural Northern California would have taken too long and been cost-prohibitive

# Preschool Hubs

## Oakland Unified School District 28 Centers

### EARLY CHILDHOOD EDUCATION



### ECE Site Directory 2023 - 2024

Site Admin.	Center name	Site #	Address	Phone number	Fax Number	Full Day PreK	3 Hour PreK AM	3 Hour PreK PM	School Age PM
Caroline Jones	1. Acorn Woodland CDC	861	1025 - 81st Avenue 94621	879-8861	627-9139		X	X	
	2. Arroyo Viejo CDC	802	1895 - 78 <sup>th</sup> Ave. 94621	879-8802	627-9110	X			
	3. Centro Infantil CDC	819	2660 East 16h Street 94601	879-8819	627-9124	X			
Lawrence Gotanco	4. Bella Vista CDC	805	2410 - 10th Avenue 94606	879-8805	627-9113	X			
	5. Harriet Tubman CDC	825	800 - 33rd Street 94608	879-8825	627-9128	X			X
	6. Yuk Yau CDC	824	291 - 10th Street 94607	879-8824	627-9153	X	X	X	X
Kianga Lee - Curtis	7. Lockwood CDC	823	1125 - 69th Avenue 94621	879-8823	627-9132	X			
	8. Stonehurst CDC	838	901 - 105 <sup>th</sup> Avenue 94603	879-8838	627-9137	X	X	X	
	9. Highland CDC	815	1322 - 86th Avenue 94621	879-8815	627-9134	X			
Mirsha Heredia Gomez	10. International CDC	809	2825 International Blvd 94601	879-8809	627-9152	X			
	11. Emerson CDC*	811	4801 Lawton Avenue 94609	879-8811	627-9126	X	X		X
	12. United Nation CDC*	831	1025 - 4 <sup>th</sup> Ave. 94606	879-8831	627-9150	X	X	X	
Sharon Travers	13. Hintil / Laurel CDC	840/820	11850 Campus Drive 94619	879-8840	627-9129	X	X		
	14. Manzanita CDC	829	2618 Grande Vista Ave. 94601	879-8829	627-9140	X	X		X
	15. Jefferson CDC	817	1975 - 40th Avenue 94601	879-8817	627-9130	X			
Alesia Eutsler	16. Kaiser Early Childhood Center	880	25 S Hill Ct, Oakland, CA 94618	879-8812	627-9218	X			
Theresa Lozac'h	17. Burbank Preschool Center	803	3550 64 <sup>th</sup> Ave 94605	879-5004	729-7773	X			
Elementary Site-Based Programs Site Principals & Sara Farmer	18. Allendale Elementary	860	3670 Penniman Ave. 94619	879-8860	627-9104	X			
	19. Bridges @ Melrose Elementary	863	1325 - 53rd Avenue 94601	879-8863	627-9141		X	X	
	20. Brookfield Elementary	806	401 Jones Avenue 94603	879-8806	627-9120	X			
	21. Reach Elementary	807	9860 Sunnyside Street 4603	879-1807	627-9149	X	X		
	22. Lockwood STEAM Elementary	827	6701 International Blvd 94621	879-8827	639-2853	X			
	23. Fruitvale Elementary	862	3200 Boston Avenue 94602	879-8862	535-2843	X			
	24. Garfield Elementary	808	1640 - 22nd Avenue 94606	879-8808	535-2861	X			
	25. Howard / OAK Elementary	816	8755 Fontaine Street 94605	879-8816	639-3266	X			
	26. MLK Jr. Elementary	822	960 - 10th Street 94607	879-8822	627-9147	X			
	27. Prescott Elementary	830	920 Campbell Street 94607	879-8830	874-3337	X			
	28. Sankofa United Elementary	864	581 - 61st Street 94609	879-8864	654-7715	X			



# (2) Central Maui Schools

## (2) Central Maui Schools Allotment = \$20M

### Act 248 (2022)

\$20M FY23 CIP CENTRAL MAUI  
NEW ELEMENTARY AND MIDDLE  
SCHOOL (06.30.24)

### Act 164 (2023)

\$10M FY24 CIP NEW CENTRAL  
MAUI ELEMENTARY AND MIDDLE  
SCHOOL (06.30.26)

### Act 230 (2024)

\$9M FY25 CIP NEW CENTRAL MAUI  
ELEMENTARY AND MIDDLE  
SCHOOL (06.30.26)

## Planning: Multi-Use Facilities

### Classroom Capacity Assessment (CCA) and Student Demographics

- Impact of Lahaina fires
- New housing next 10 years

### Standards Based Designs

1. Educational Specifications
2. Design Guides
3. Construction Specifications
4. Standard Technical Drawings
5. Commissioning Plans

### Standardized Classroom Configurator (SCC) and Prefabricated Construction

- In 1958, the four counties built a new classroom every three days

## Phase I: Middle School 6-8

### Multi-Use Facilities: Education, Community and Resiliency

- Site identification and development
- Infrastructure construction
- New middle school grades 6-8 construction

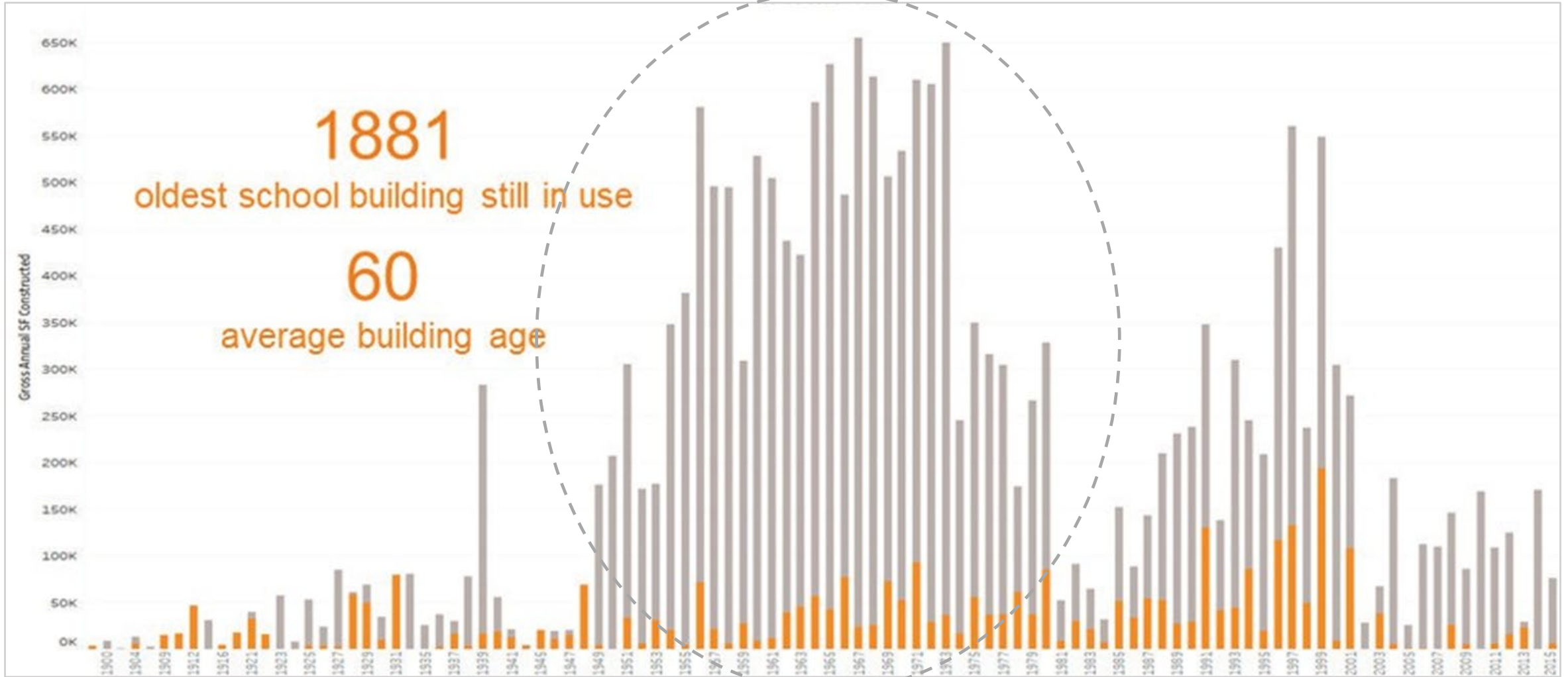
## Phase II: Elementary School K-5

### Multi-Use Facilities: Education, Community and Resiliency

- New elementary school grades K-5 construction

# Hawaii needs to return to what worked in 1949-1980

- In 1958, the four counties built a new classroom every three days (1958-59 Annual Report)
- Schools built with consistent standards for design and construction
- Schools built with modern building materials of concrete hollow-tile, steel and aluminum



# Standardization

## Hawaii Schools

1. Educational Specifications (2006-08)  
MS/IS March 2006  
HS December 2006  
ES January 2008
2. Design Guides (required)
3. Construction Specifications (required)
4. Standard Technical Drawings (required)
5. Commissioning Plan (required)

## Standards Based Designs

1. **Educational Specifications.** Structured documentation substantiated by calculations and diagrams defining the physical environment needed to support teaching and learning.
2. **Design Guides.** “How to” guide for architects and engineers for projects, highlighting standards and technical requirements. Guidelines provide direction and instructions about how to approach designs for schools.
3. **Construction Specifications.** Comprehensive documentation defining materials and manufacturers acceptable for use in schools. Key specifications for maintainability of buildings.
4. **Standard Technical Drawings.** Detailed drawings of buildings and structures that follow specific industry standards and buildings codes to ensure uniformity and correctness. Streamlines County permitting.
5. **Commissioning Plan.** Procedural plan that outlines the steps and responsibilities required to ensure a building or system is functioning properly before it's put into use.

## Prefabricated Construction

- A. **Flat Pack.** Flat pack buildings are constructed both at a facility and on-site. A flat pack building comes in pieces that need to be put together on-site.
- B. **Volumetric.** Volumetric modular construction is a form of off-site construction in which buildings are put together by connecting a series of fairly large pre-built sections.

## Building Maintainability

- Building maintainability involves many considerations, including the selection of building elements that require minimal maintenance.
- The goal of building maintainability is to ensure that a building performs optimally throughout its life cycle at a minimum cost.

# Waikapu Site



# (3) Workforce Housing

## (3) Workforce Housing Allotment = \$5M

### Act 172 (2023) and Act 164 (2023)

- \$170M = \$65M Mililani + \$25M Nanakuli & Waipahu + \$20M Hawaii County + \$20M Maui County + \$20M Kauai County + \$20M Koolaupoko
- \$50M = Governor Line-Item Veto
- \$5M = Maui Wildfires Response

## Pilot: RFP-SFA-23-01 Mililani HS

### Request for Proposal (RFP) Pilot

- Published 12.15.23
- Offer due 05.31.24
- Awarded 08.23.24

### Land Use Agreements

- Transfer of land process
- Subdivision of land process
- Long term lease agreements

### Private Developer Agreements

- Design, build, finance, operate and maintain (DBFOM)

## Phase I: RFPs 1-5

### Site Selection

Location and accessibility; zoning and land use regulations; infrastructure; environmental and hazard considerations

### Site Prioritization

Process of investigating and evaluating a property for workforce housing development

### RFP Development

Statement of work; proposal evaluation; award criteria  
Site 1; Site 2; Site 3; Site 4; Site 5

## Phase II: RFPs 6-10

### Site Selection

Location and accessibility; zoning and land use regulations; infrastructure; environmental and hazard considerations

### Site Prioritization

Process of investigating and evaluating a property for workforce housing development

### RFP Development

Statement of work; proposal evaluation; award criteria  
Site 6; Site 7; Site 8; Site 9; Site 10

# Pilot: RFP-SFA-23-01 Mililani HS

## Pacific Housing Assistance Corporation (PHAC)

### Act 164 (2023) HB300 State Budget

<b>TOTAL</b>	<b>\$170,000,000</b>
Mililani	\$65,000,000
Nanakuli and Waipahu	\$25,000,000
Hawaii County	\$20,000,000
Maui County	\$20,000,000
Kauai County	\$20,000,000
Koolaupoko	\$20,000,000

Pacific Housing has successfully completed three affordable housing projects structured as condominiums – Senior Residence at Kāneʻohe, Senior Residence at Iwilei, and Lani Huli. These projects were awarded through an RFP process by the State or City and are all on public land leased to us long-term at \$1 per year.



The Senior Residence at Kāneʻohe was the first in the nation to combine financing from HUD Section 202 and LIHTC programs by developing the project as a two-unit condo. Unit A consists of 45 units financed with HUD Section 202 funds and Unit B consists of 30 units financed with equity under the LIHTC program.



The Senior Residence at Iwilei was also developed as a two-unit condo. Similar to this MHS Teacher Workforce Housing project, the project includes a daycare for adults and is located on land leased from the State. The project also required a 201H exemption and subdivision approval.



Lani Huli is another two-unit condo affordable housing project. Senior housing is situated atop a City public parking structure. Pacific Housing and the City are members of the AOOU Lani Huli and share common services and expenses. The project was financed with CDBG and a private loan.

# Phase I: RFPs 1-5

01



## Site Selection

Process of property identification:

- Location and accessibility
- Zoning and land use regulations
- Infrastructure (sewer, water and electricity)
- Environmental and natural hazard considerations

Project delivery:

Design, build, finance, operate and maintain (DBFOM) public private partnership (P3)

02



## Site Prioritization

Process of investigating and evaluating a property for workforce housing development:

- Land survey
- Topographic survey
- Soils testing
- Archaeological testing and excavation
- Infrastructure identification and sizing

03



## Location Input

- Site 1
- Site 2
- Site 3
- Site 4
- Site 5

04



## Community Input

- Site 1
- Site 2
- Site 3
- Site 4
- Site 5

05



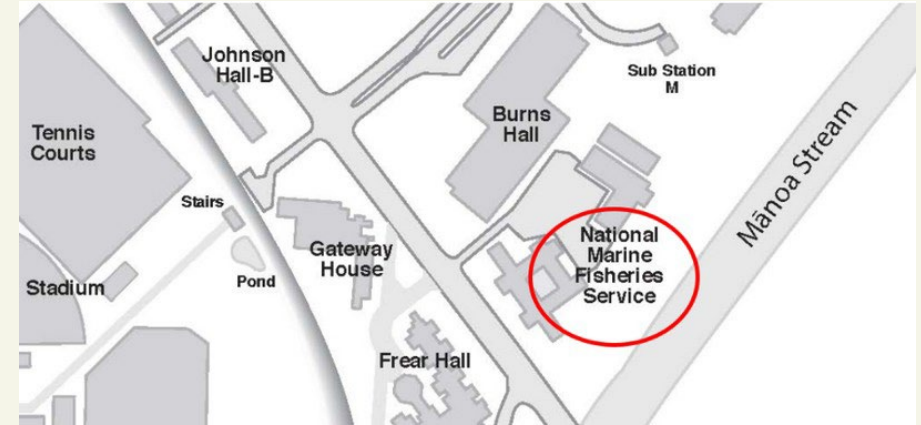
## Request for Proposal (RFP)

HRS §103D-303

Competitive sealed proposals

- Statement of work
- Proposal evaluation
- Award criteria

# NOAA HOUSING PROJECT



2.21 acres located on UH Mānoa (“UHM”) campus at 2570 Dole Street.

## Graduate and Jr. Faculty Housing

2020: Greystar selected by UH for P3

2023: Construction starts

2025: Anticipated occupancy

- 317 units/559 beds
- Studios, 2-, 3-, 4-bedroom units
- Indoor amenity (2nd Floor): 1,800 SF
- Outdoor amenity (12th floor): 2,000 SF
- Retail space 2,500 SF